

ABBREVIATIONS - NOT ALL USED

~	APPROXIMATELY	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
APN	ASSESSOR PARCEL NUMBER	MFR	MANUFACTURER
ASF	ABOVE STRUCTURAL FLOOR	MIN	MINIMUM
BTWN	BETWEEN	(N)	NEW
CBC	CALIFORNIA BUILDING CODE	NIC	NOT IN CONTRACT
CEC	CALIFORNIA ELECTRICAL CODE	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CONC	CONCRETE	PG	PAINT GRADE
CMC	CALIFORNIA MECHANICAL CODE	PL	PROPERTY LINE
CPC	CALIFORNIA PLUMBING CODE	PLN	PLAN
CRC	CALIFORNIA RESIDENTIAL CODE	PLY	PLYWOOD
CL	CENTERLINE	PT	PRESSURE TREATED
D	CLOTHES DRYER	REQ	REQUIRED OR REQUIREMENT
DEMO	DEMOLISH OR DEMOLITION	RO	ROUGH OPENING
DIM	DIMENSION	SEP	SEPARATE
DW	DISHWASHER	SF	SQUARE FOOT / SQ. FEET
(E)	EXISTING	SFL	STRUCTURAL FLOOR LEVEL
EL	ELEVATION	SG	STAIN GRADE
ELEC	ELECTRICAL	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFY OR SPECIFICATION
FAU	FORCED AIR UNIT	TBD	TO BE DETERMINED
FFL	FINISHED FLOOR LEVEL	TYP	TYPICAL
FG	FINISH GRADE	UON	UNLESS OTHERWISE NOTED
FLR	FLOOR	VIF	VERIFY IN FIELD
GR	GROSS	V	VERSION
GYP	GYPSUM	W	CLOTHES WASHER
HVAC	HEATING, VENTILATION, A/C	W/	WITH
INT	INTERIOR	W/OUT	WITHOUT
MEP	MECHANICAL, ELEC, PLUMBING		

SYMBOL KEY

	KEYNOTE		PROPERTY LINE
	WINDOW		CENTER LINE
	DOOR		REVISION CLOUD
	EQUIPMENT (NUMBER)		REVISION #
	LIGHTING (LETTER)		ELEVATION KEY LOCATION/PAGE
	PLUMBING		PHOTO KEY LOCATION/PAGE
Room name			SECTION KEY LOCATION/PAGE
	ROOM (NUMBER)		DETAIL LOCATION/PAGE
	(N) WALL		CHANGE IN FLOOR FINISH
	(E) WALL		
	(D) WALL		
	ELEVATION VALUE		
	ALIGN		
	MOVEMENT DIRECTION		

DRAWING INDEX

NUMBER	SHEET
T-1.1	TITLESHEET
A-1.1	SITE PLAN
A-9.1	DETAILS
AA-2.1	BLDG 803 - (E)/(N) FLOOR PLANS
AA-5.1	BLDG 803 - (E)/(N) SECTIONS
AA-6.1	BLDG 803 - (E)/(N) EXTERIOR ELEVATIONS
AB-2.1	BLDG 805 - (E)/(N) FLOOR PLANS
AB-4.1	BLDG 805 - (E)/(N) ROOF PLANS
AB-5.1	BLDG 805 - (E)/(N) SECTIONS
AB-6.1	BLDG 805 - (E)/(N) EXTERIOR ELEVATIONS
AC-2.1	BLDG 807 - (E) FLOOR PLANS
AC-2.2	BLDG 807 - (N) FLOOR PLANS
AC-4.1	BLDG 807 - (E)/(N) ROOF PLANS
AC-5.1	BLDG 807 - (E)/(N) SECTIONS
AC-6.1	BLDG 807 - (E) EXTERIOR ELEVATIONS
AC-6.2	BLDG 807 - (N) EXTERIOR ELEVATIONS

CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND ALL MATERIALS INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES, AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.

NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS.

IT SHALL BE THE RESPONSIBILITY OF ANYONE PROVIDING LABOR OR MATERIALS TO CONFORM WITH THE CODE AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE CODES AND THE DRAWINGS.

APPLICABLE CODES:

SANTA BARBARA CITY TITLE 30 ZONING ORDINANCE
SANTA BARBARA CITY MUNICIPAL CODE
SANTA BARBARA CITY DESIGN GUIDELINES
2019 CALIFORNIA ADMINISTRATIVE CODE
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 GREEN BUILDING CODE
2019 CALIFORNIA BUILDING CODE AMENDMENTS PER ORD. 5780
2019 SANTA BARBARA ELECTRICAL CODE AMENDMENTS
2019 SANTA BARBARA MECHANICAL CODE AMENDMENTS
2019 SANTA BARBARA PLUMBING CODE AMENDMENTS
2019 SANTA BARBARA GREEN BUILDING CODE AMENDMENTS
2019 SANTA BARBARA HOUSING CODE
FEDERAL - OSHA
FEDERAL - AMERICANS WITH DISABILITIES ACT

PROJECT DATA

ADDRESS:	803, 805, 807, & 831 CLIFF DRIVE SANTA BARBARA, CA 93109
APN:	45-250-008
ZONE DISTRICT:	R-2/SD-3
CONSTRUCTION TYPE:	V-B
LOT SIZE:	6.72 ACRES, GROSS
LOT SLOPE:	23%
EXISTING USE:	APARTMENTS
PROPOSED USE:	APARTMENTS
CLIMATE ZONE:	6
HIGH FIRE HAZARD AREA:	NO
SPRINKLERED:	YES
FLOOD HAZARD AREA:	NO

SCOPE OF WORK:

PROPERTY CONTAINS BUILDING ADDRESSES 801, 803, 805, 807, 811, 821 & 831 CLIFF DRIVE. THIS PROJECT ONLY AFFECTS BUILDINGS 803, 805 & 807.

THIS PROPOSAL WILL INCLUDE THE FOLLOWING IMPROVEMENTS:

- REMOVAL OF (E) HIP ROOFS AND REPLACEMENT W/ (N) SINGLE-SLOPE ROOF W/ (N) SOLAR PANEL SYSTEMS FOR BUILDINGS 803, 805 & 807.
- REPLACEMENT OF (E) WOOD RAILINGS WITH METAL RAILINGS AT BALCONIES FOR BUILDINGS 803, 805 & 807 TO MATCH THE (E) RAILINGS AT 811, 821 & 831.
- REPLACEMENT OF (E) WINDOWS W/ NEW WINDOWS FOR BUILDINGS 803, 805 & 807 TO MATCH THE (E) WINDOWS AT 811, 821 & 831.

NO CHANGES ARE PROPOSED TO THE EXISTING PARKING AS PART OF THIS PROJECT.

PARKING

AS REQUIRED (PER PLANS)	1969	1980
COVERED/UNCOVERED	110	136
AS PROVIDED (PER PLANS):	1969	1980
COVERED	58	80
UNCOVERED	56	66
TOTAL	114	146

PARKING AS PERMITTED BY PLANNING COMMISSION AUGUST 11, 2016

	CONFORMING	PERMITTED, EXISTING (NON-CONFORMING)	TOTAL
COVERED	67	17	84
UNCOVERED	81	6	87
TOTAL			171

BIKE PARKING:

AS APPROVED (1969):	0 SPACES
AS PROVIDED (1969):	0 SPACES
AS APPROVED (1980):	0 SPACES
AS PROVIDED (1980):	0 SPACES
AS-BUILT, APPROVED (2016):	136 SPACES

CONTACT LIST

OWNER:	PERMITTING/PLANNING:
EDWARD ST GEORGE 831 CLIFF DRIVE, STE 100 SANTA BARBARA, CA 93009 PH: (805) 284-8488	JARRETT GORIN VANGUARD PLANNING, LLC 735 STATE STREET, SUITE 204 SANTA BARBARA, CA 93101
ARCHITECT:	CIVIL ENGINEER:
ON DESIGN ARCHITECTS P.O. BOX 598 SANTA BARBARA, CA 93102 ATT: KEITH NOLAN, AIA PH: (805) 896-8374 EMAIL: knolan@architects-ca.com	RRM DESIGN GROUP 10 EAST FIGUEROA ST, SUITE 1 SANTA BARBARA, CA 93101 ATT: MICHAEL HAMILTON PH: (805) 963-8283

VICINITY MAP



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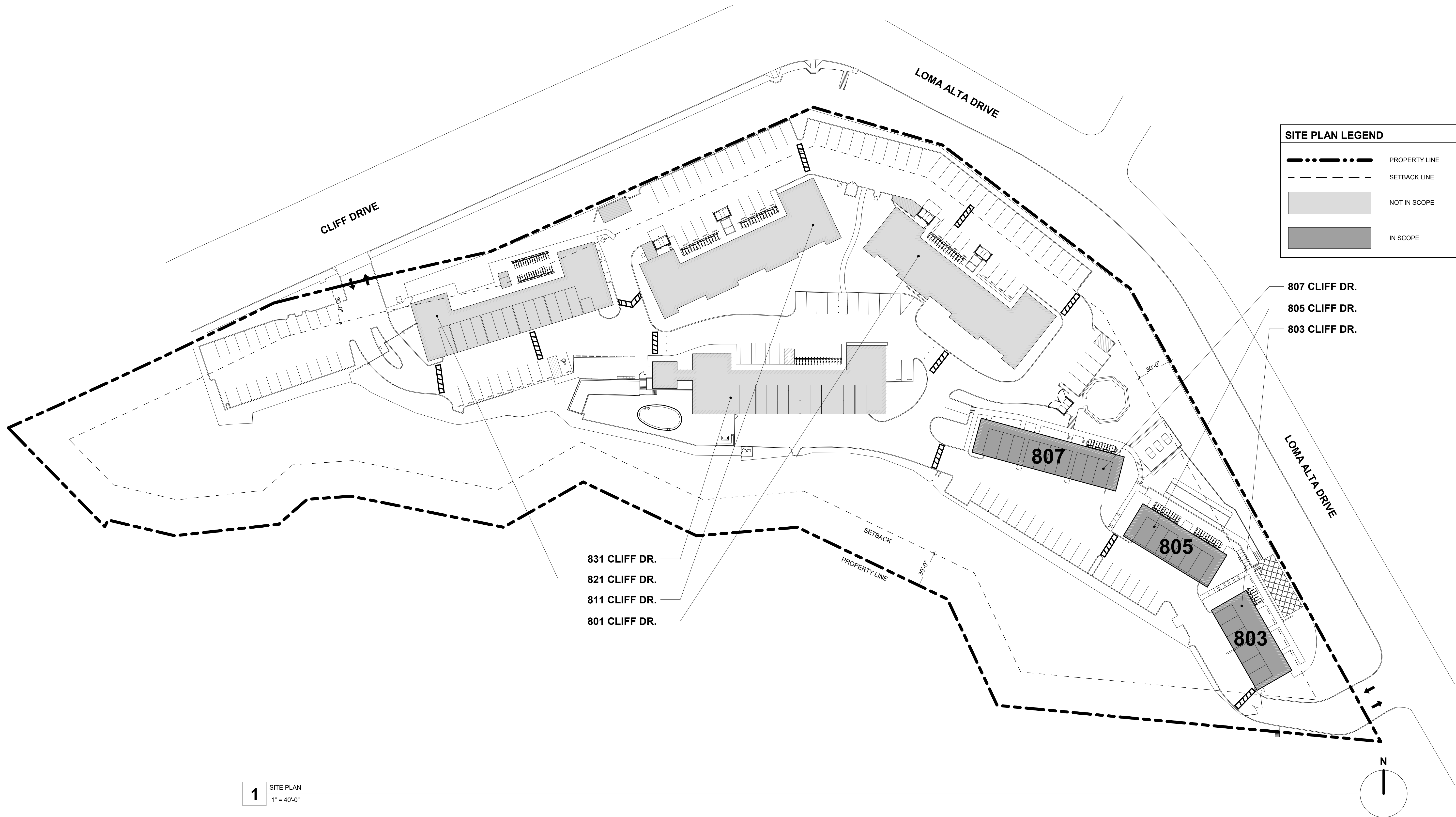
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BEACH CITY EXTERIOR
803, 805, 807, & 831 CLIFF DRIVE
SANTA BARBARA, CA 93009
TITLE SHEET

Revision Schedule

Project Manager
Designer
Scale
As indicated
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T-1.1



1 SITE PLAN
1" = 40'-0"



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SITE PLAN

Revision Schedule

Project Manager
Noah Greer

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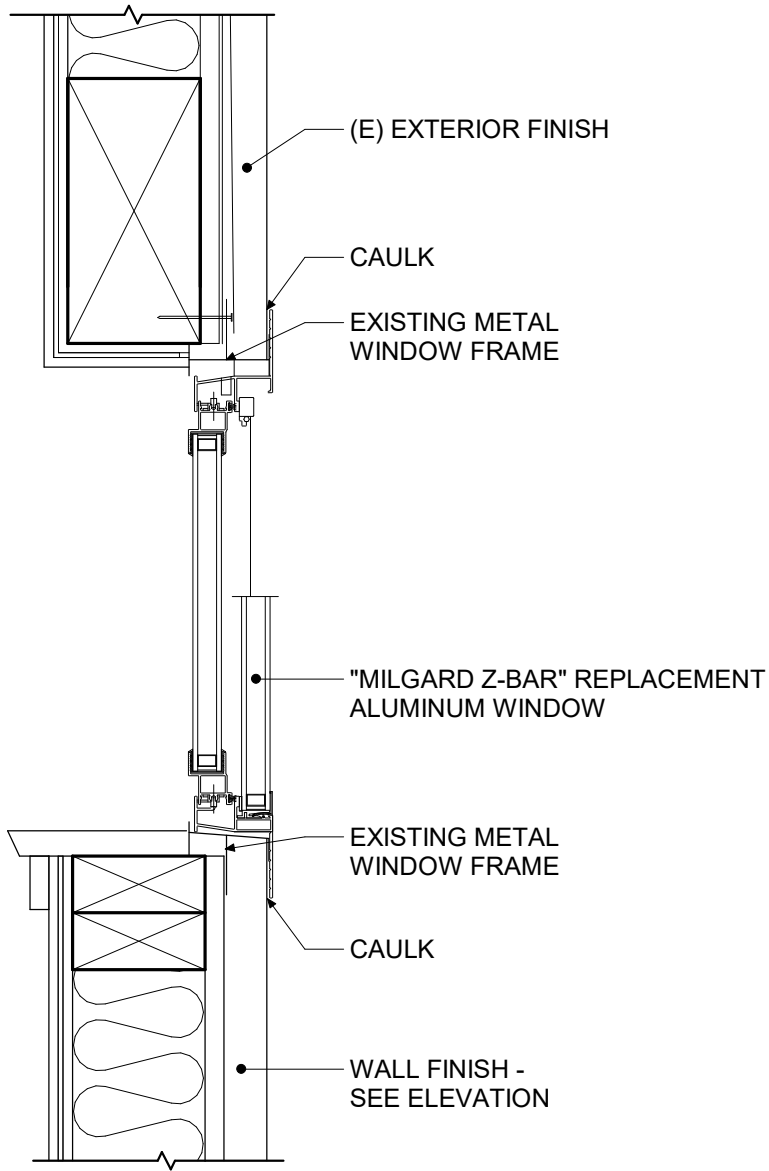
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BEACH CITY EXTERIOR
803, 805, 807, & 831 CLIFF DRIVE
SANTA BARBARA, CA 93009
DETAILS

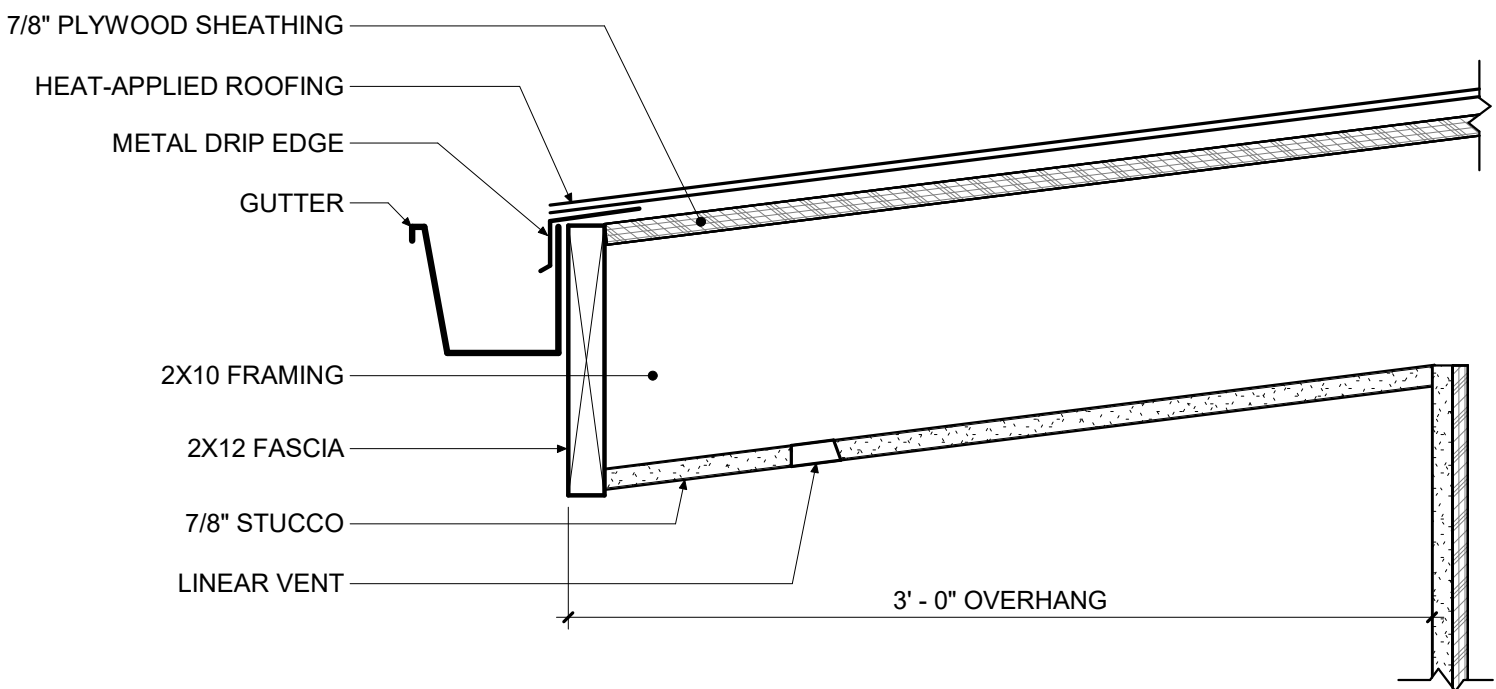
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1 1/2" = 1'-0"
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A-9.1



2 TYPICAL WINDOW HEAD/SILL SECTION DETAIL
1 1/2" = 1'-0"



1 TYPICAL EAVE SECTION DETAIL
1 1/2" = 1'-0"

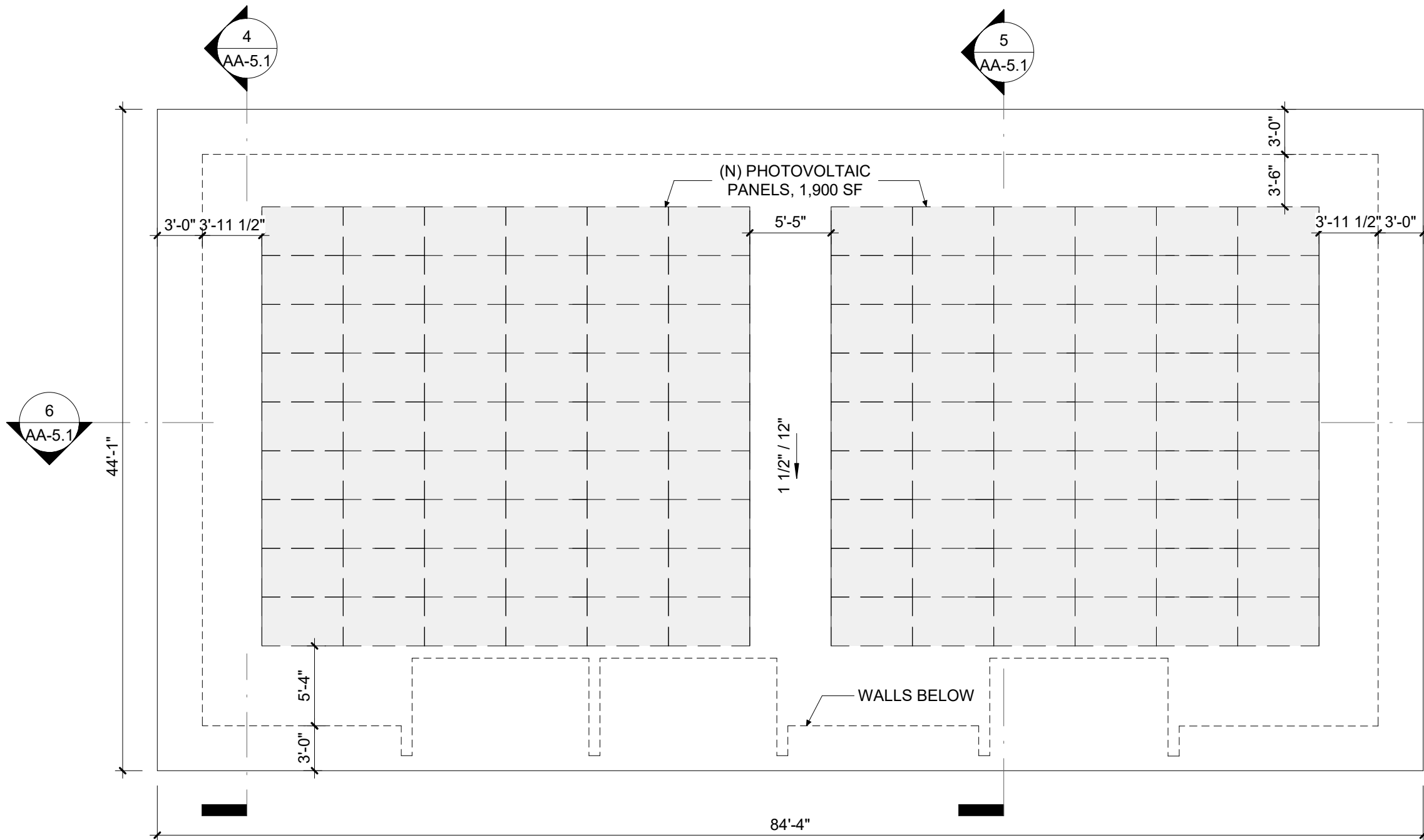
FLOOR PLAN NOTES

1. FIELD MEASUREMENTS TAKE PRECEDENCE OVER WRITTEN DIMS. WHERE THERE IS A DISCREPANCY, THE DESIGNER OR ENGINEER OF RECORD SHALL BE NOTIFIED.
2. ALL PLAN DIMENSIONS TAKEN FROM EDGE OF STRUCTURAL COMPONENTS (E.G., WALL SHEATHING, STUDS, SLAB, ETC.), UON.
3. EXTERIOR WALLS DIMENSIONED TO OUTSIDE OF SHEATHING, UON. INTERIOR WALLS DIMENSIONED TO SIDE OF STUD, UON.
4. THE CONTRACTOR SHALL PROVIDE GAS / ELECTRIC / WATER / DATA / WASTE / VENTING AS NECESSARY FOR PROPER APPLIANCE & FIXTURE FUNCTION.
5. SEE DOOR & WINDOW SHEET NOTES FOR SAFETY GLAZING REQ'S.
6. SHOWER STALL SHALL COMPLY W/ CONSTRUCTION REQ'S OF CPC 408.
7. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. THE MIN OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. EXCEPTIONS ALLOWED FOR ARTIFICIAL LIGHT & VENTILATION [CRC R303.1].
8. BATHROOMS, WATER CLOSET COMPARTMENTS, & OTHER SIM ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 3.0 SF, ONE-HALF OF WHICH MUST BE OPENABLE, EXCEPT WHEN ARTIFICIAL LIGHT & LOCAL EXHAUST ARE PROVIDED [CRC R303.3].
9. WHEN THE WINTER DESIGN TEMPERATURE IS BELOW 60°F (16°C), EVERY DWELLING UNIT SHALL BE PROVIDED W/ HEATING FACILITIES CAPABLE OF MAINTAINING A MIN ROOM TEMPERATURE OF 68°F (20°C) AT A POINT 3 FEET (914 MM) ABOVE THE FLOOR & 2 FEET (610 MM) FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.
10. HARDWIRED & INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTORS W/ BATTERY BACK-UP REQ'D IN EACH BEDROOM & IN AREAS LEADING TO BEDROOMS. A SMOKE DETECTOR IS ALSO REQ'D AT EACH SEP STORY OF A DWELLING, INCLUDING BASEMENTS & HABITABLE ATTICS. [CRC R314 & R315] SEE ELECTRICAL PLANS FOR LOCATIONS.
11. BASEMENTS, HABITABLE ATTICS, & SLEEPING ROOMS REQ AT LEAST ONE EMERGENCY ESCAPE & RESCUE OPENING [CRC R310].
12. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIM OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED ¼ UNITS VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT) [CRC R311.3].

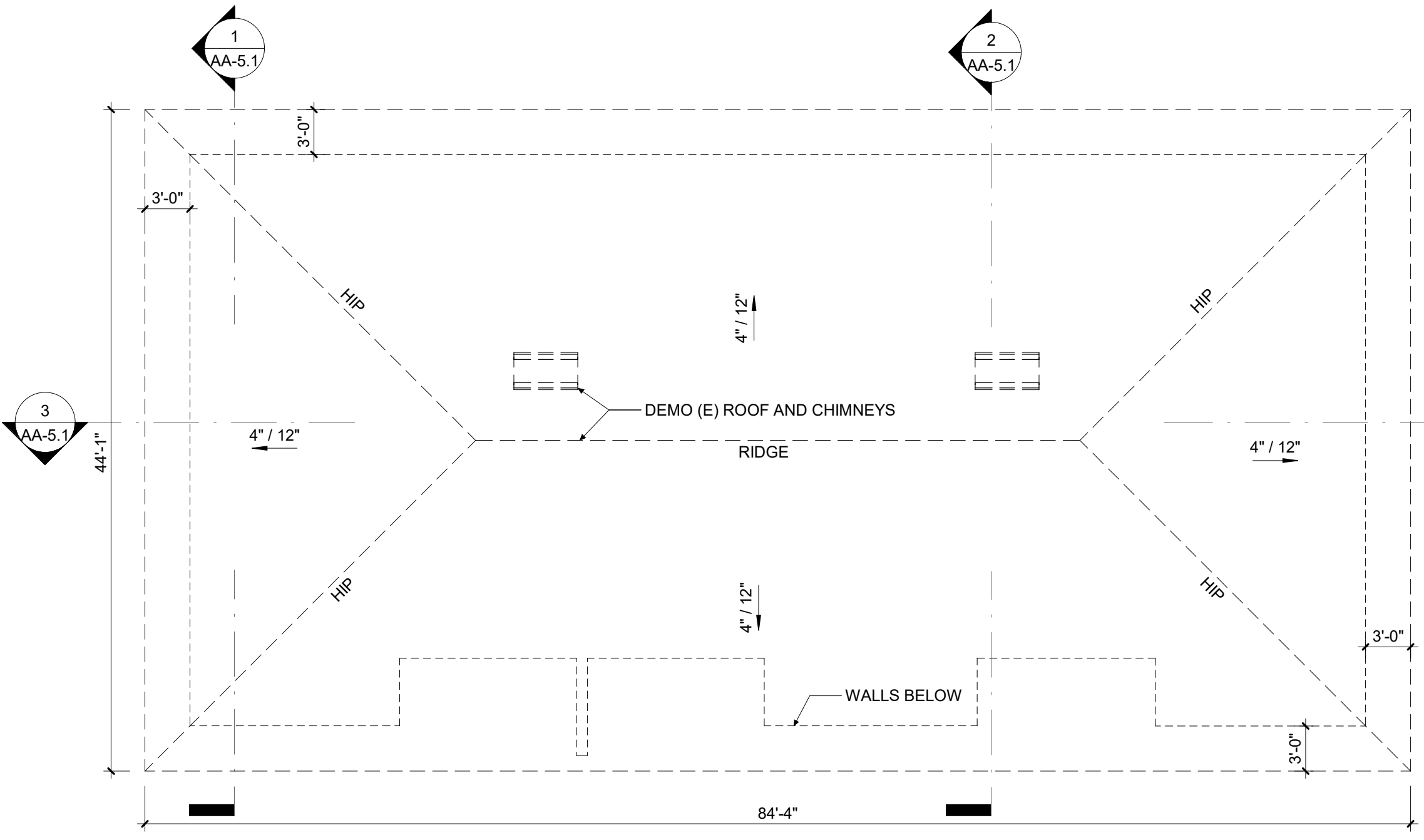
WALL LEGEND

SYMBOL	DESCRIPTION	ASSEMBLY
	(E) WALL TO BE DEMO'D	REFER TO (E) PLANS
	(E) WALL TO REMAIN AS-IS	REFER TO (E) PLANS
	(N) EXTERIOR 2X6 STUCCO	2X6 DF STUDS @ 16" OC, 7/8" STUCCO EXT, BOTH SIDES

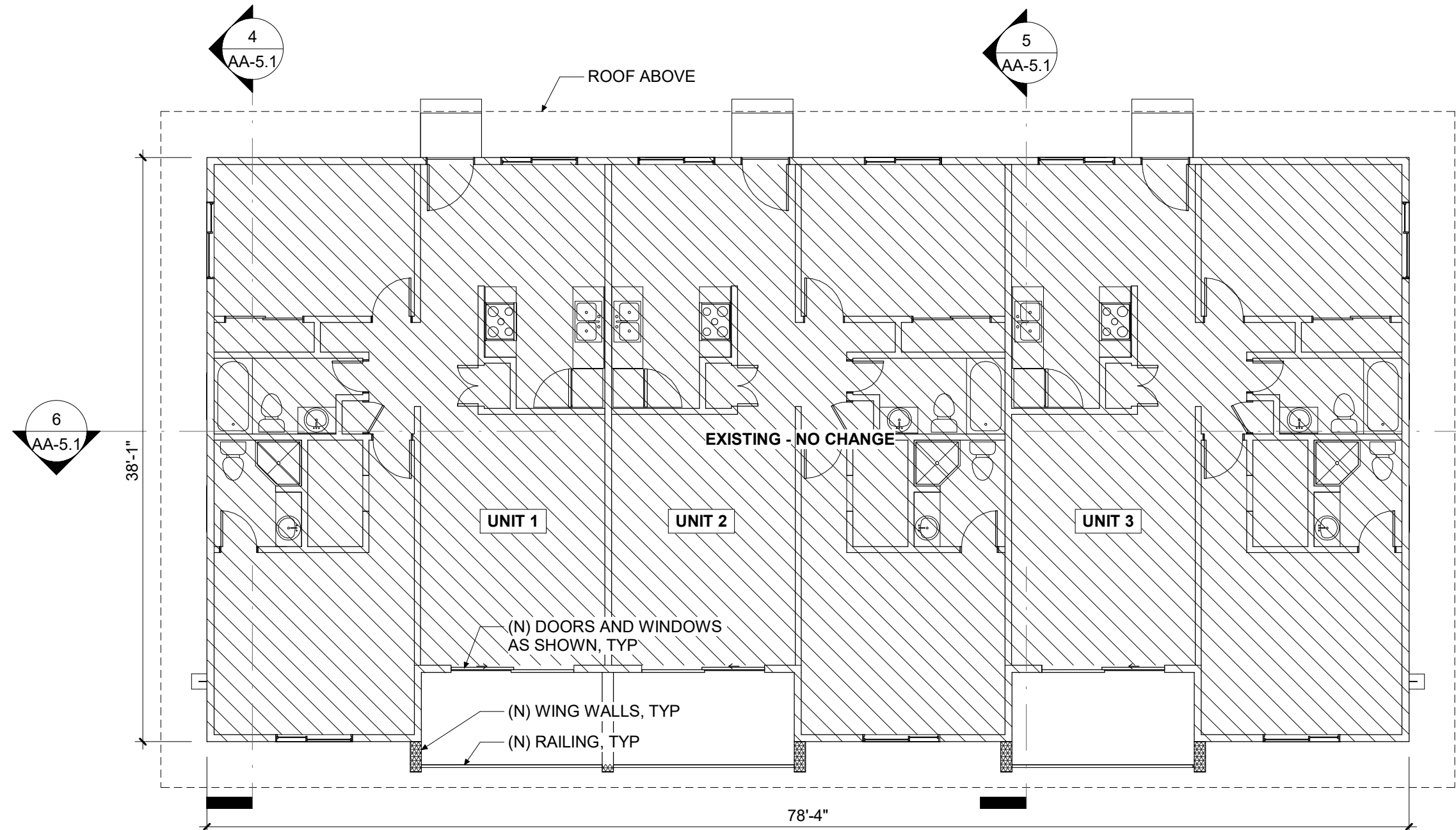
NOTES: INSULATION & SHEATHING PER SECTIONS AND/OR GENERAL NOTES
SHEATHING PER STRUCTURAL DRAWINGS/NOTES



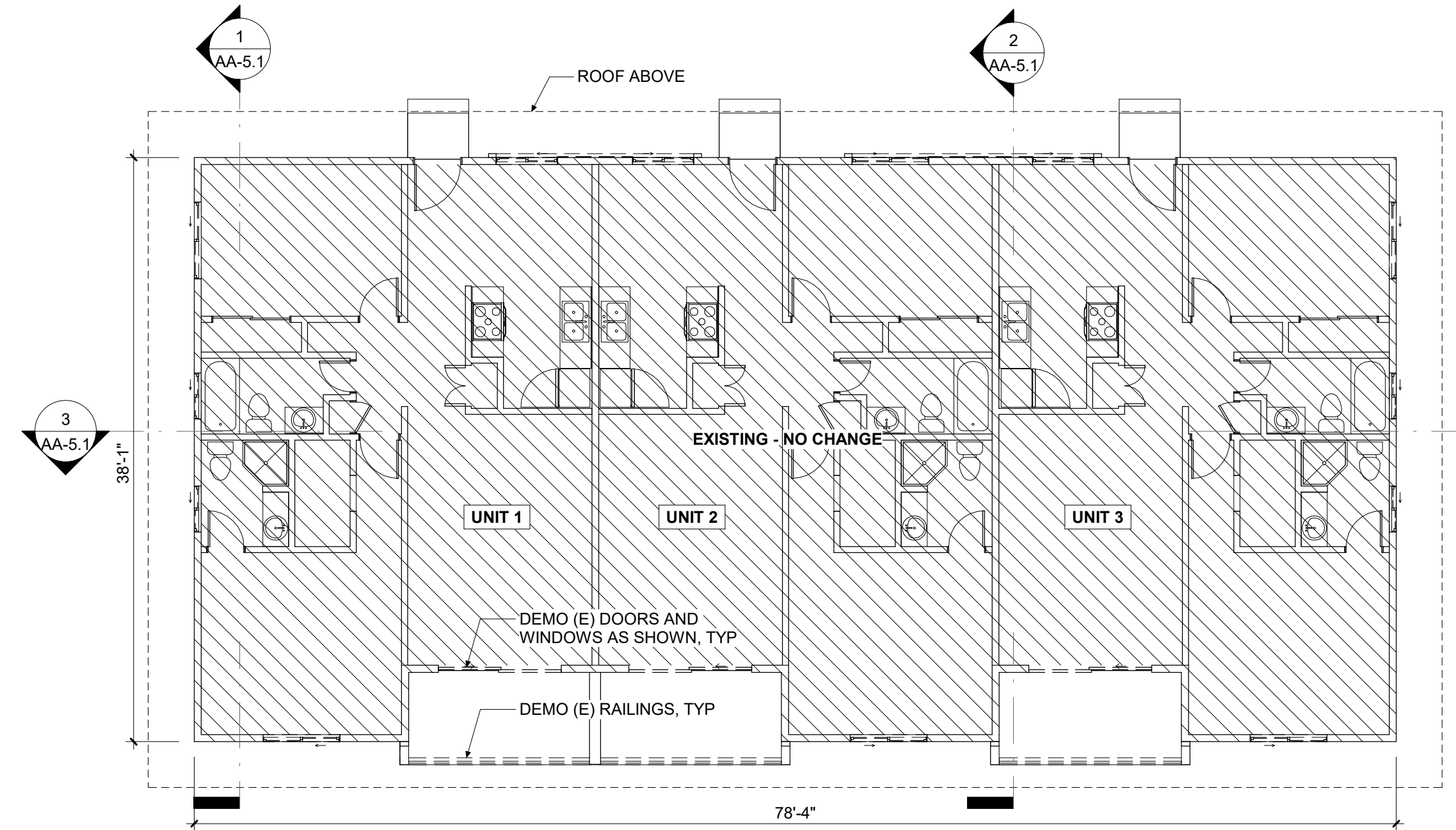
6 NEW ROOF PLAN - BUILDING 803
1/8" = 1'-0"



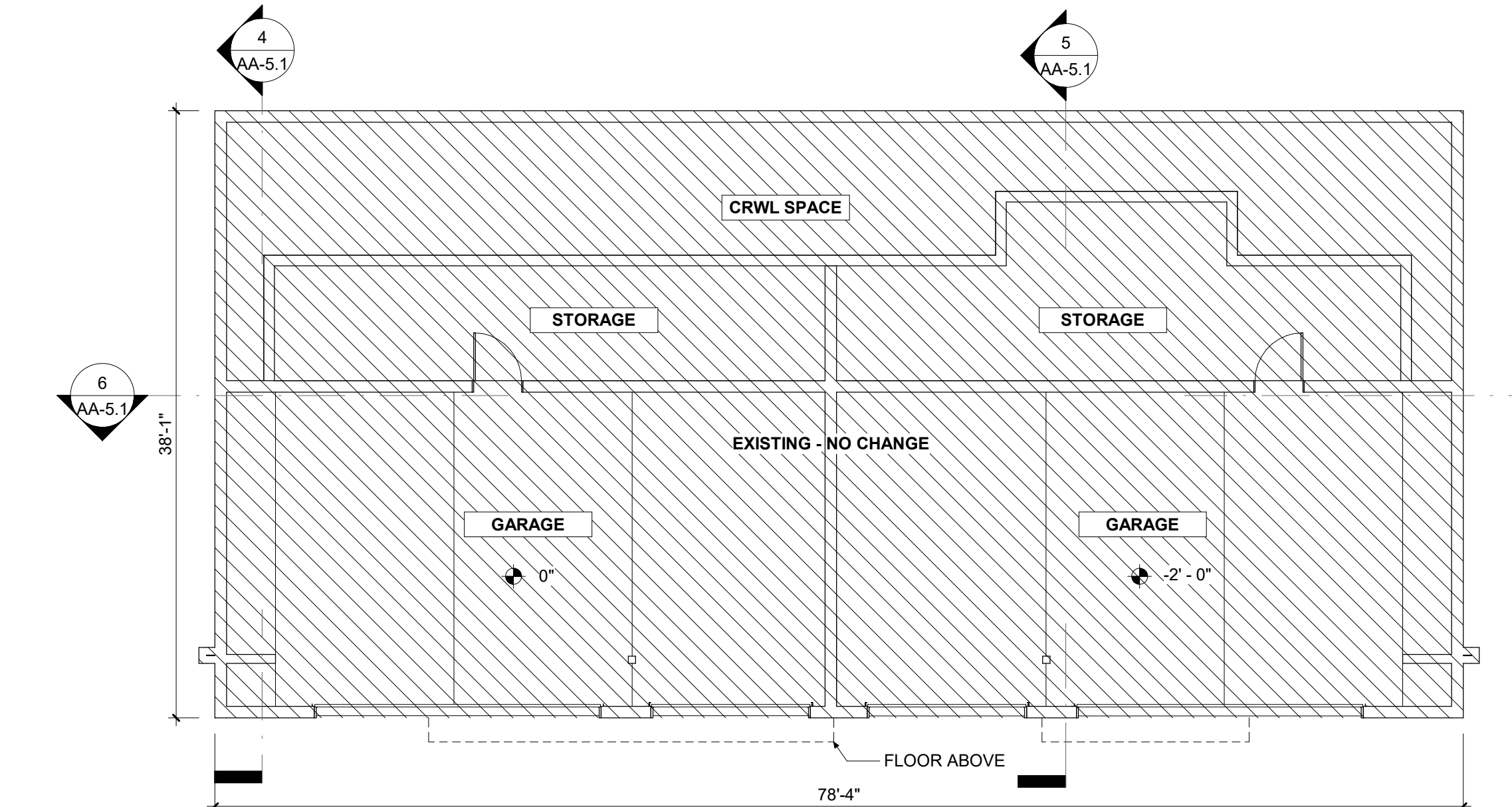
3 EXISTING/DEMO ROOF PLAN - BUILDING 803
1/8" = 1'-0"



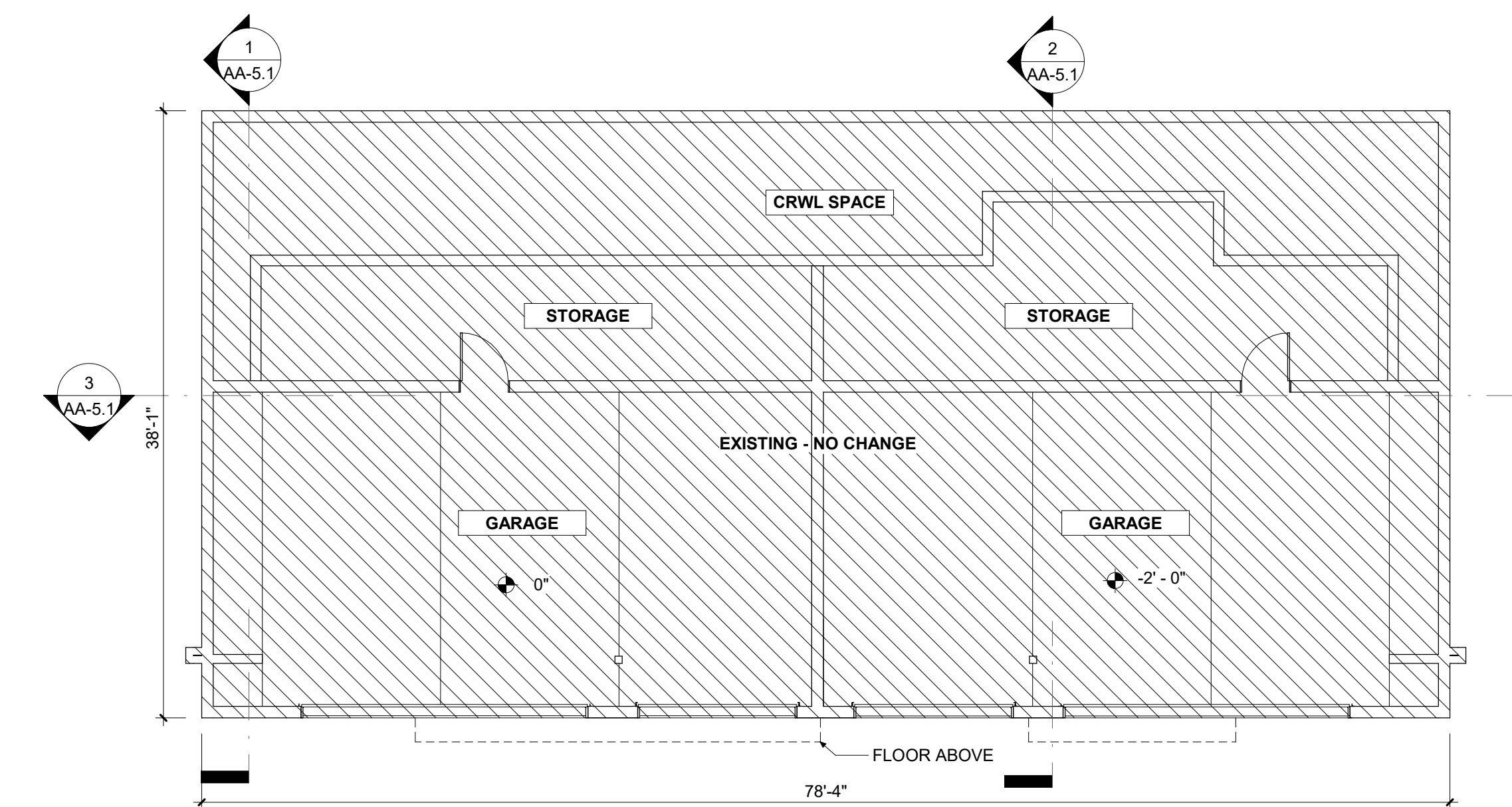
5 NEW SECOND FLOOR PLAN - BUILDING 803
1/8" = 1'-0"



2 EXISTING/DEMO SECOND FLOOR PLAN - BUILDING 803
1/8" = 1'-0"



4 NEW FIRST FLOOR PLAN - BUILDING 803
1/8" = 1'-0"



1 EXISTING/DEMO FIRST FLOOR PLAN - BUILDING 803
1/8" = 1'-0"



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BEACH CITY EXTERIOR

803, 805, 807, & 831 CLIFF DRIVE

SANTA BARBARA, CA 93109

(E)/(N) FLOOR PLANS - 803

Revision Schedule

PC#1 08.17.20

Project Manager

Designer

Scale

As indicated

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AA-2.1



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(E)/(N) SECTIONS - 803

Revision Schedule

PC#1	08.17.20
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Project Manager	Designer
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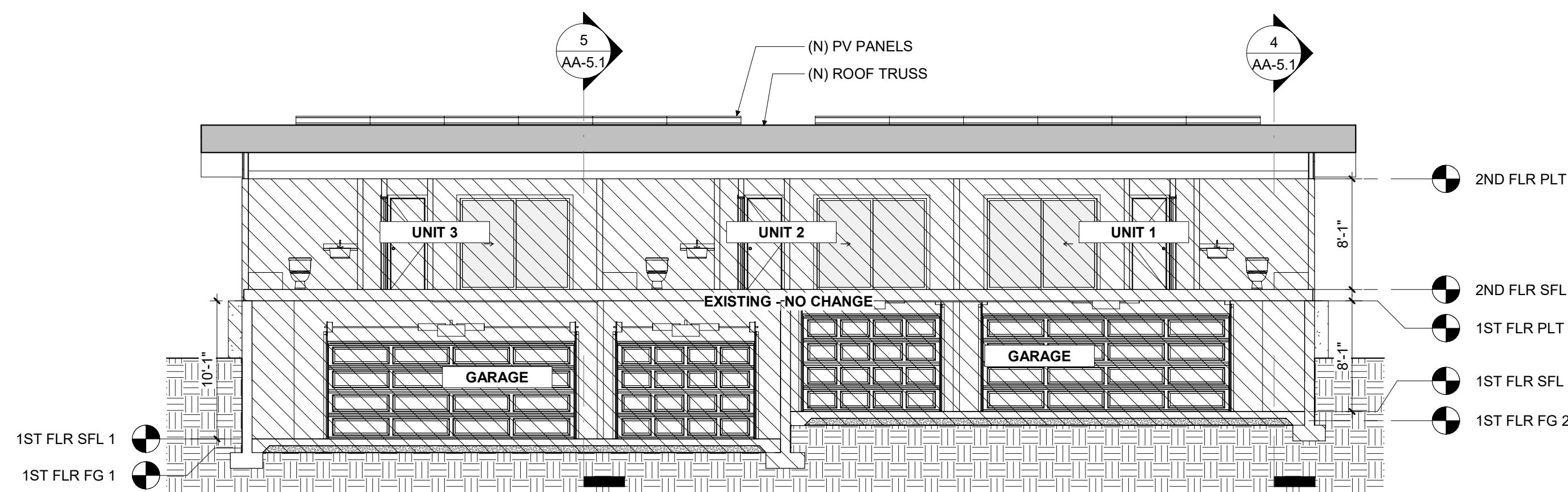
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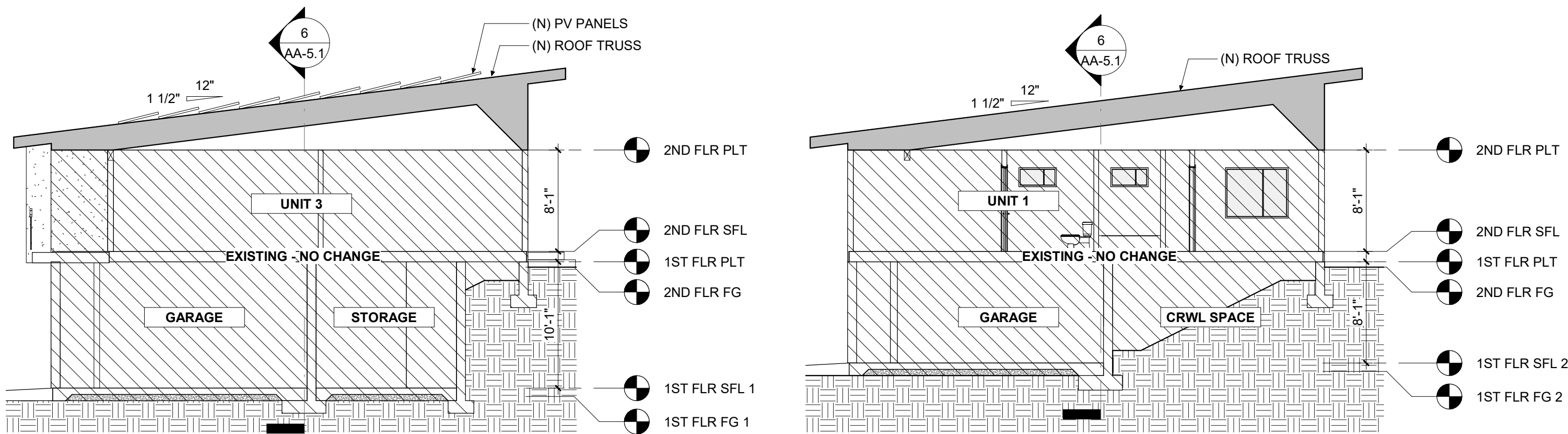
AA-5.1

SECTIONS NOTES

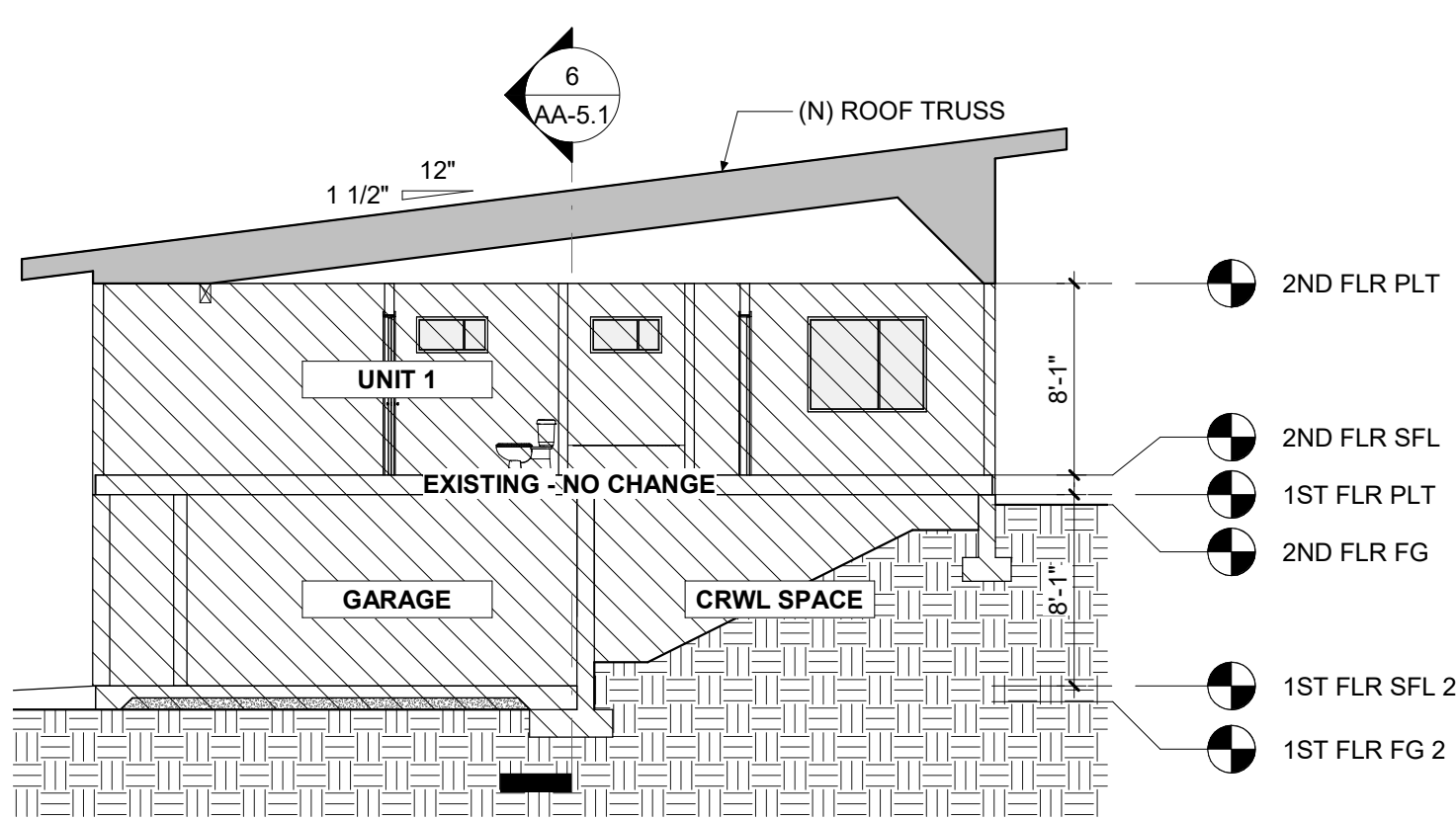
1. MIN 5/8" TYPE "X" GYP AT WALLS & CEILINGS UON.
2. MIN 2 LAYERS 5/8" TYPE "X" GYP AT GARAGE CEILINGS & USABLE SPACE BELOW STAIRS.
3. WALL CONSTRUCTION PER WALL LEGEND, DETAILS & FRAMING NOTES.
4. FLOOR SLAB PER STRUCTURAL PLANS.
5. MIN 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER W/ JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONC FLOOR SLAB & THE BASE COURSE OR THE PREPARED SUBGRADE WHERE NO BASE COURSE EXISTS [CRC R506.2.3].
6. CAPILLARY BREAK: A CAPILLARY BREAK SHALL BE INSTALLED TO COMPLY W/ CALGREEN 4.505.2.1.
7. PROTECTION OF WOOD & WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED W/ THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE W/ AWPA UI FOR THE SPECIES, PRODUCT, PRESERVATIVE & END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA UI. THIS REQ APPLIES IN THE FOLLOWING LOCATIONS:
 - A. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18" INCHES TO THE EXPOSED GROUND.
 - B. WOOD GIRDERS WHEN CLOSER THAN 12" INCHES TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED W/IN THE PERIPHERY OF THE BUILDING FOUNDATION
 - C. ALL FOUNDATION SILLS, PLATES, SLEEPERS, POSTS, & COLUMNS THAT REST ON CONC OR MASONRY MUST BE NATURALLY DURABLE OR PRESERVATIVE TREATED [CRC R317.1]



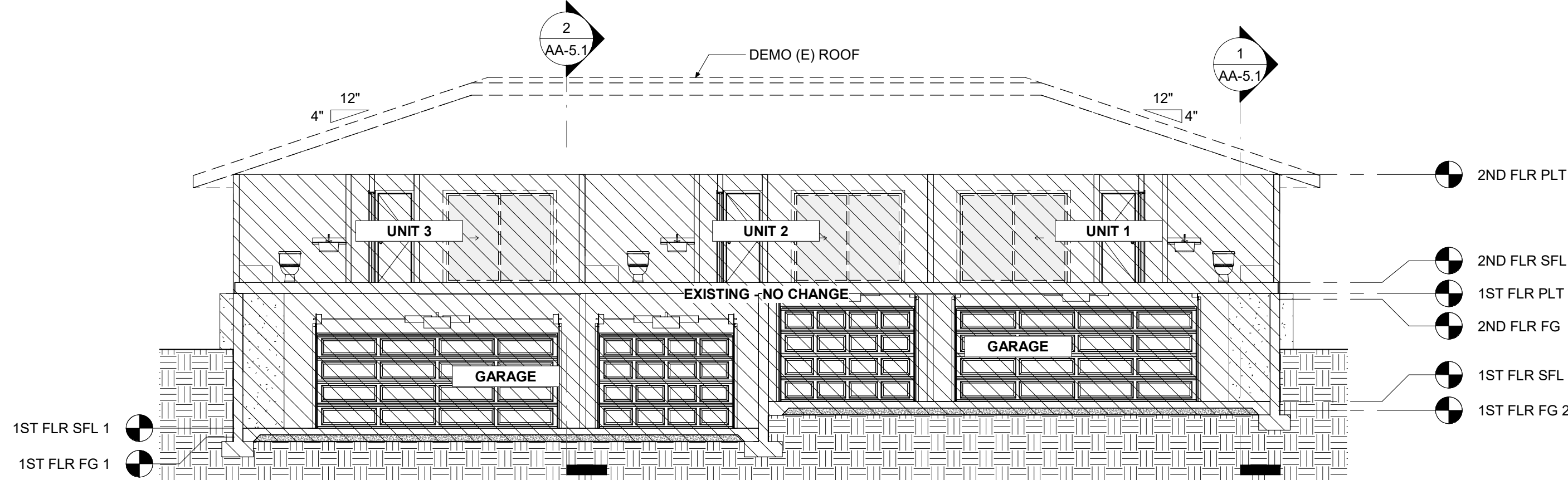
6 SECTION 6 - NEW - BUILDING 803
1/8" = 1'-0"



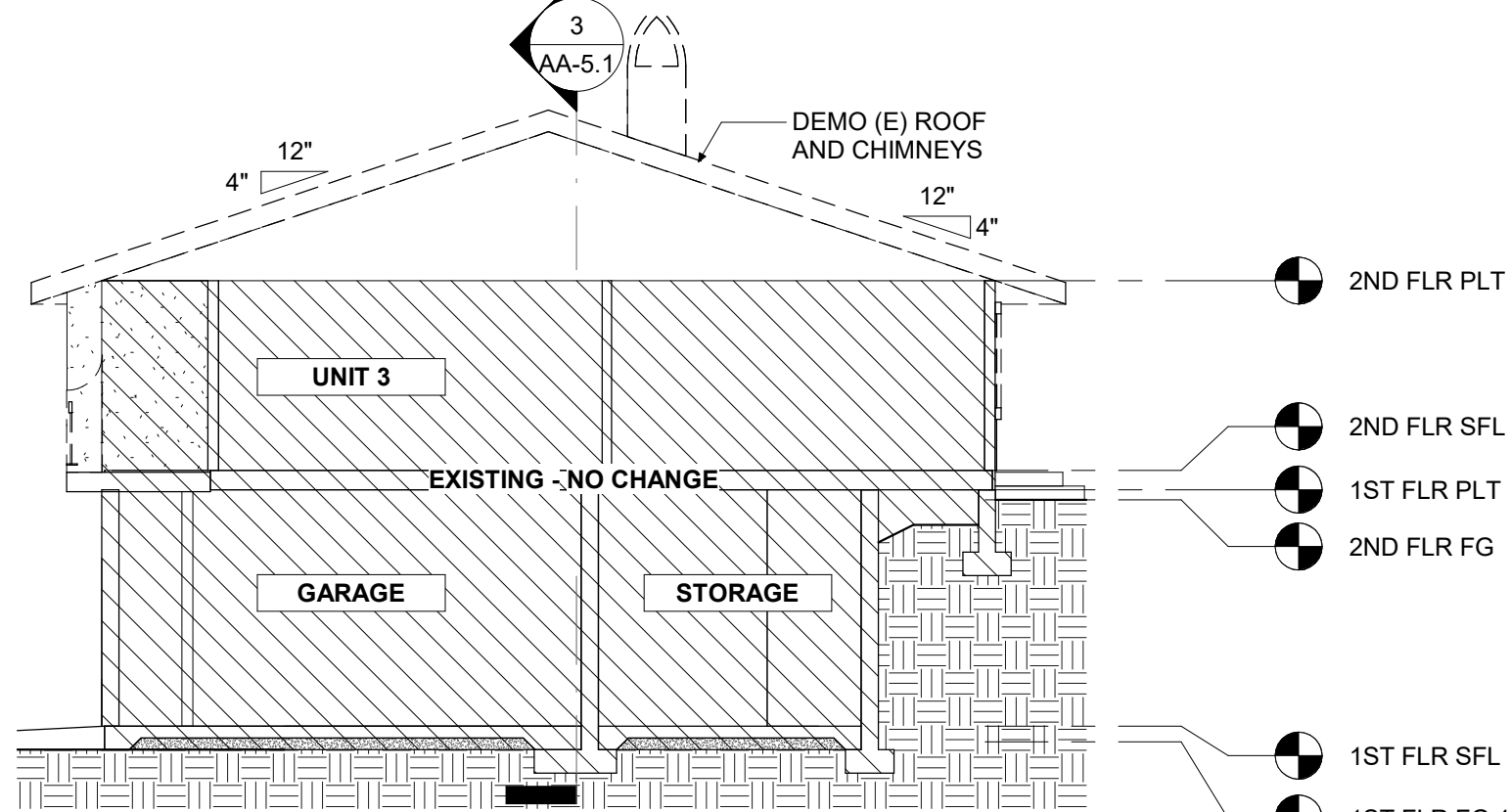
5 SECTION 5 - NEW - BUILDING 803
1/8" = 1'-0"



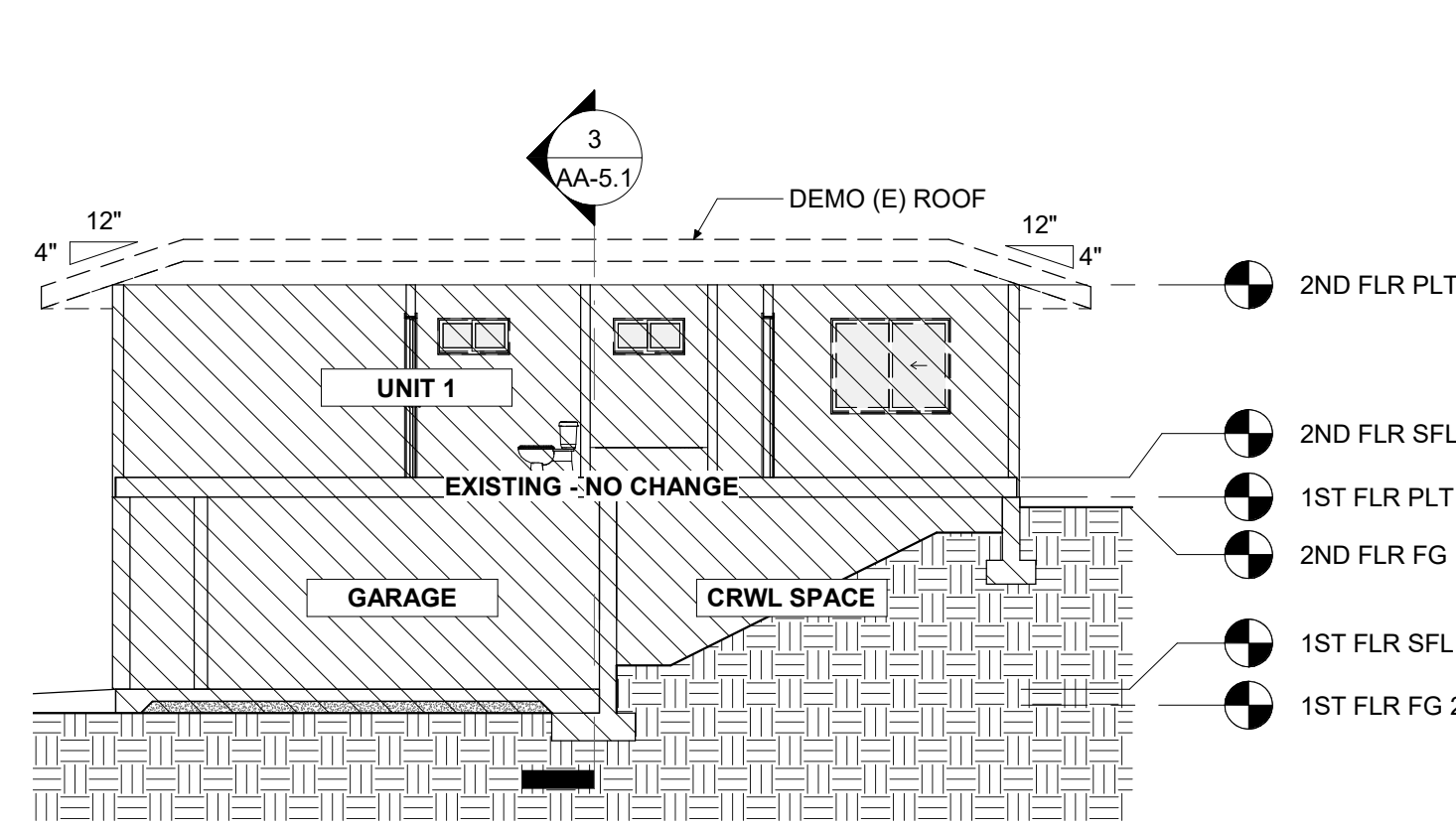
4 SECTION 4 - NEW - BUILDING 803
1/8" = 1'-0"



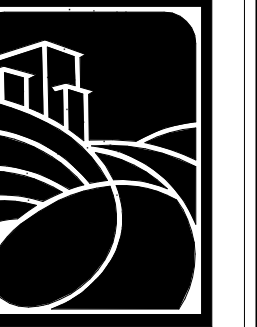
3 SECTION 3 - EXISTING - BUILDING 803
1/8" = 1'-0"



2 SECTION 2 - EXISTING - BUILDING 803
1/8" = 1'-0"



1 SECTION 1 - EXISTING - BUILDING 803
1/8" = 1'-0"



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(E)/(N) EXTERIOR ELEVATIONS - 803

Revision Schedule

PC#1	08.17.20
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Project Manager	Designer
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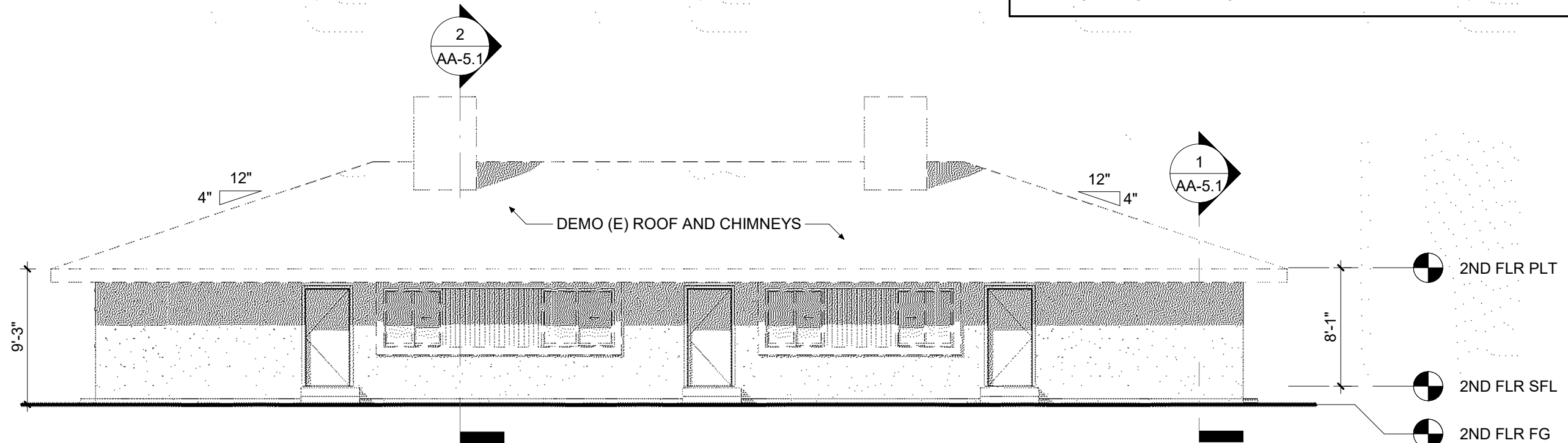
AA-6.1

ELEVATION NOTES

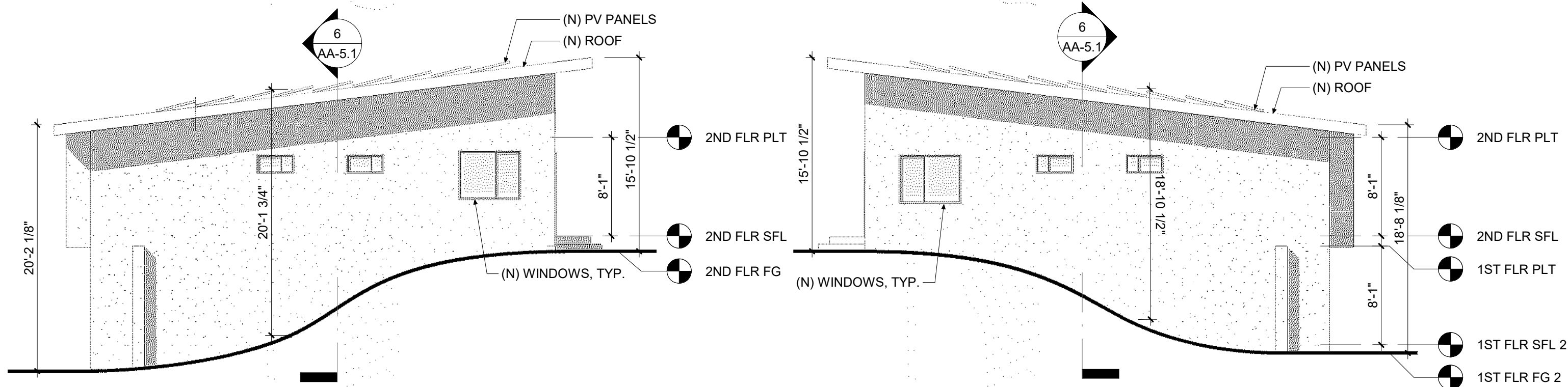
1. ETCH/PREP, PRIME & PAINT ROOF PROTRUSIONS TO MATCH ROOF, TYP.
2. ROOF VENTS TO BE GROUPED TO THE EXTENT FEASIBLE.
3. FOR PENETRATIONS IN RATED WALL ASSEMBLIES, REFER TO CBC.
4. SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL TRADE-RELATED ITEMS AS CONTAINED W/IN FULL CONSTRUCTION DOCUMENTS.
5. ALL ELECTRICAL, GAS, PLUMBING & MECHANICAL PENETRATIONS IN EXTERIOR WALLS SHALL BE FLASHED W/ "QUICKFLASH" WATERPROOFING PRODUCTS (WWW.QUICKFLASHPRODUCTS.COM) OR EQUAL.
6. EXTERIOR OF BUILDING SHALL BE WRAPPED W/ MIN GRADE "D" PRIOR TO INSTALLING FINISH MATERIAL. INSTALL PER MFR INSTRUCTIONS.
7. FLASH/COUNTER FLASH AT ALL ROOF-TO-WALL CONDITIONS.
8. ALL FLASHING SHALL BE CONSISTENT W/ ROOF & WALL FINISH. DISSIMILAR METALS SHALL NOT BE IN CONTACT W/ EACH OTHER.
9. BACKPRIME ALL UNFINISHED TRIM EDGES PRIOR TO INSTALLATION, TYP.
10. WOOD FRAMING MEMBERS (INCLUDING WOOD SHEATHING) THAT REST ON FOUNDATION WALLS & ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD [CBC § 2304.11.2.2].
11. RAKED BOARDS & TRIM BEYOND THE RAKE SHALL BE CONTINUOUS.
12. ELEVATION VALUES REFER TO STRUCTURAL LEVELS. REFER TO INTERIOR ELEVATIONS FOR CRITICAL DIMS FROM FINISHED SURFACES.
13. ALL EXTERIOR WALL COVERINGS SHALL BE APPLIED PER CRC R703.
14. APPROVED NUMBERS OR ADDRESSES SHALL BE POSTED, PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY [CFC 505.1].
15. ALL GUTTERS SHALL BE SIZED PER CPC CH. 11. ALL DRAINS & GUTTERS SHALL COMPLY W/ CPC CH. 11 REQ.
16. SEE MECHANICAL / ELECTRICAL / PLUMBING PLANS FOR ITEMS NOT SHOWN OR SPECIFIED ON ELEVATIONS.



12 NEW NORTH ELEVATION - BUILDING 803
1/8" = 1'-0"

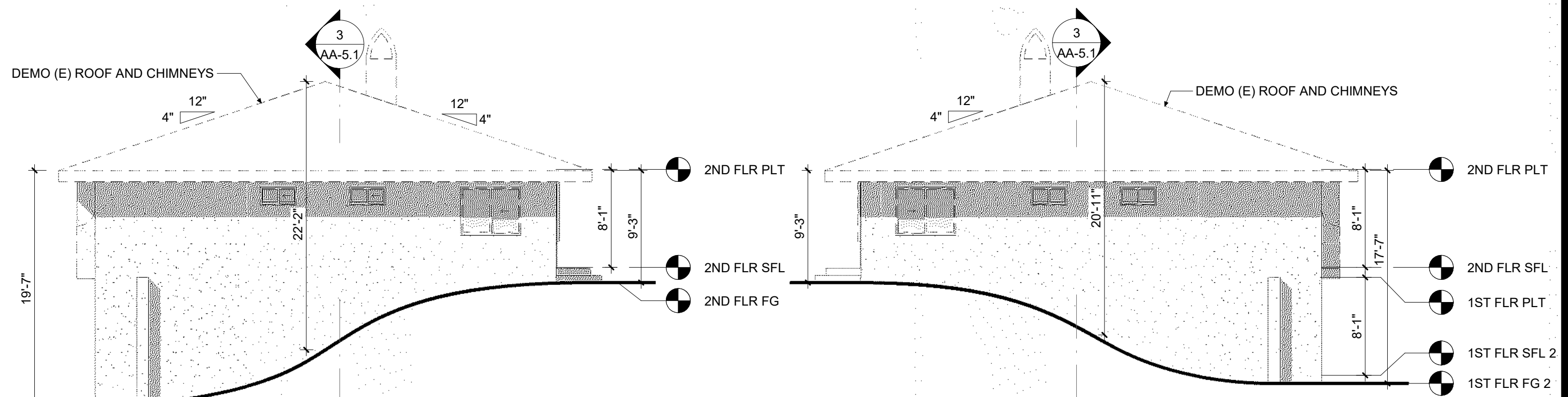


6 EXISTING NORTH ELEVATION - BUILDING 803
1/8" = 1'-0"



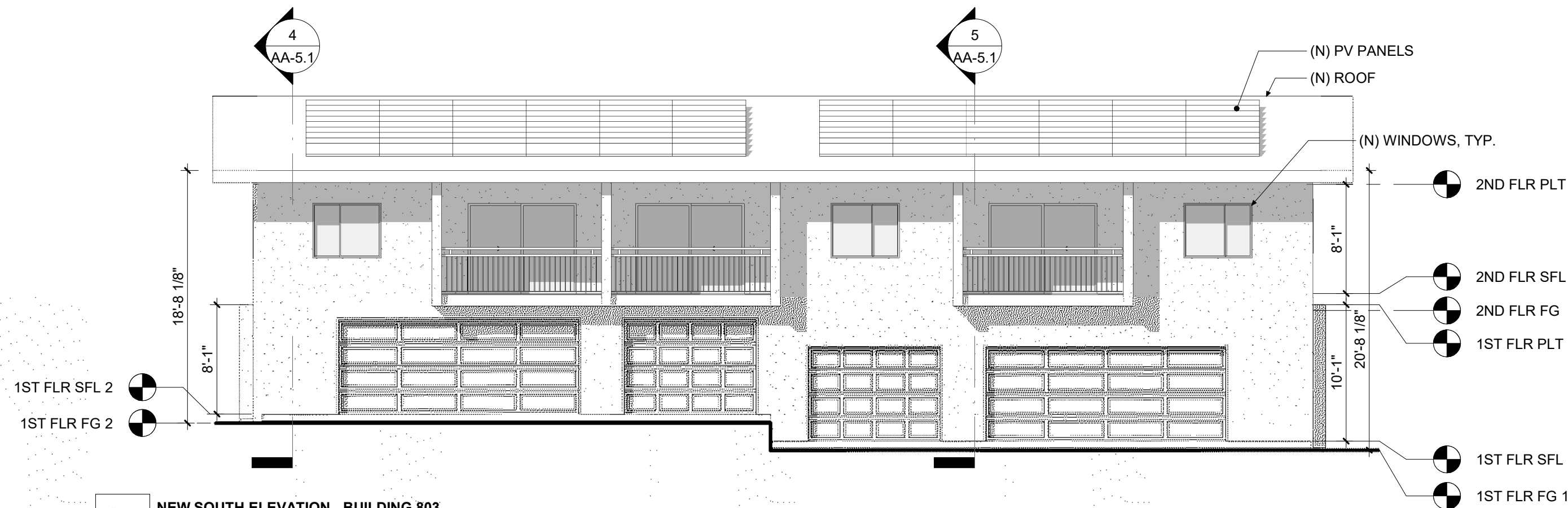
11 NEW EAST ELEVATION - BUILDING 803
1/8" = 1'-0"

8 NEW WEST ELEVATION - BUILDING 803
1/8" = 1'-0"

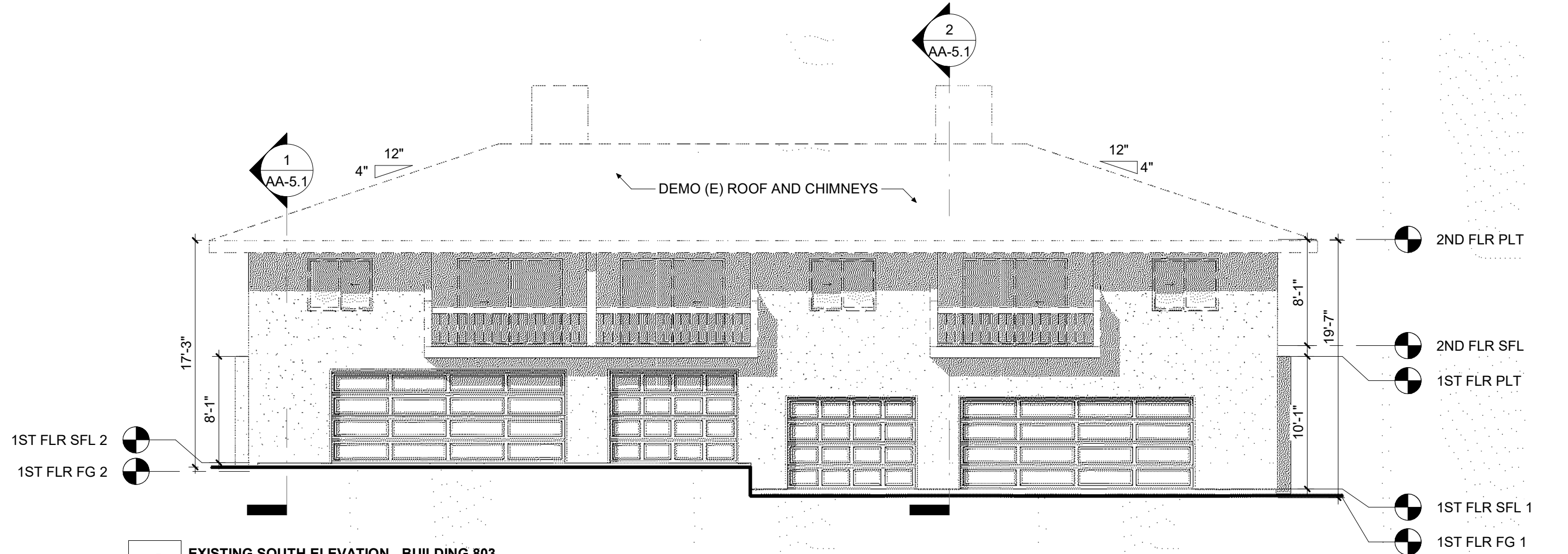


5 EXISTING EAST ELEVATION - BUILDING 803
1/8" = 1'-0"

2 EXISTING WEST ELEVATION - BUILDING 803
1/8" = 1'-0"



10 NEW SOUTH ELEVATION - BUILDING 803
1/8" = 1'-0"



4 EXISTING SOUTH ELEVATION - BUILDING 803
1/8" = 1'-0"

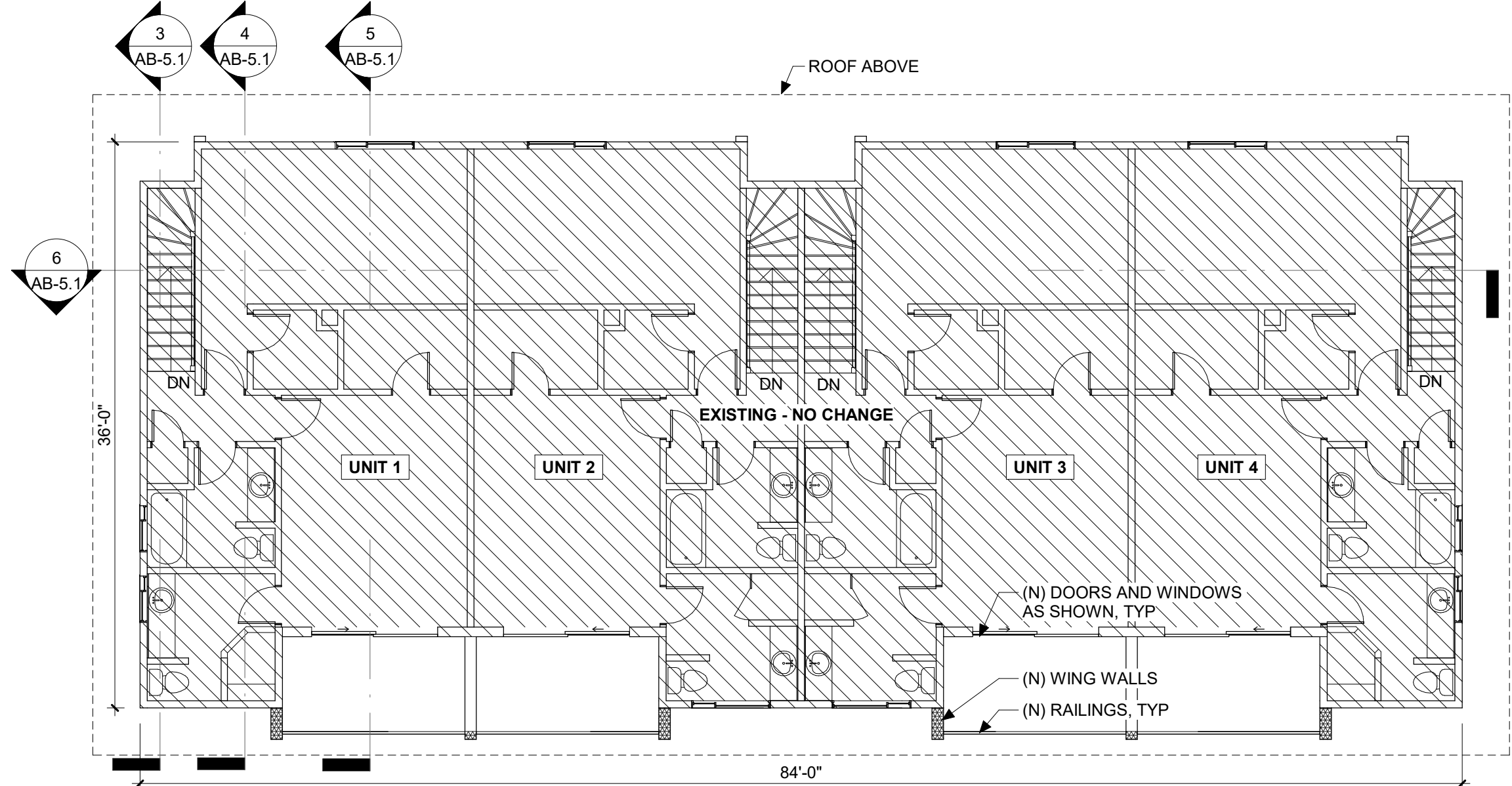
FLOOR PLAN NOTES

1. FIELD MEASUREMENTS TAKE PRECEDENCE OVER WRITTEN DIMS. WHERE THERE IS A DISCREPANCY, THE DESIGNER OR ENGINEER OF RECORD SHALL BE NOTIFIED.
2. ALL PLAN DIMENSIONS TAKEN FROM EDGE OF STRUCTURAL COMPONENTS (E.G., WALL SHEATHING, STUDS, SLAB, ETC.), UON.
3. EXTERIOR WALLS DIMENSIONED TO OUTSIDE OF SHEATHING, UON. INTERIOR WALLS DIMENSIONED TO SIDE OF STUD, UON.
4. THE CONTRACTOR SHALL PROVIDE GAS / ELECTRIC / WATER / DATA / WASTE / VENTING AS NECESSARY FOR PROPER APPLIANCE & FIXTURE FUNCTION.
5. SEE DOOR & WINDOW SHEET NOTES FOR SAFETY GLAZING REQ'S.
6. SHOWER STALL SHALL COMPLY W/ CONSTRUCTION REQ'S OF CPC 408.
7. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. THE MIN OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. EXCEPTIONS ALLOWED FOR ARTIFICIAL LIGHT & VENTILATION [CRC R303.1].
8. BATHROOMS, WATER CLOSET COMPARTMENTS, & OTHER SIM ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 3.0 SF, ONE-HALF OF WHICH MUST BE OPENABLE. EXCEPT WHEN ARTIFICIAL LIGHT & LOCAL EXHAUST ARE PROVIDED [CRC R303.3].
9. WHEN THE WINTER DESIGN TEMPERATURE IS BELOW 60°F (16°C), EVERY DWELLING UNIT SHALL BE PROVIDED W/ HEATING FACILITIES CAPABLE OF MAINTAINING A MIN ROOM TEMPERATURE OF 68°F (20°C) AT A POINT 3 FEET (914 MM) ABOVE THE FLOOR & 2 FEET (610 MM) FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.
10. HARDWIRED & INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTORS W/ BATTERY BACK-UP REQ'D IN EACH BEDROOM & IN AREAS LEADING TO BEDROOMS. A SMOKE DETECTOR IS ALSO REQ'D AT EACH SEP STORY OF A DWELLING, INCLUDING BASEMENTS & HABITABLE ATTICS. [CRC R314 & R315] SEE ELECTRICAL PLANS FOR LOCATIONS.
11. BASEMENTS, HABITABLE ATTICS, & SLEEPING ROOMS REQ AT LEAST ONE EMERGENCY ESCAPE & RESCUE OPENING [CRC R310].
12. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIM OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED ¼ UNITS VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT) [CRC R311.3].

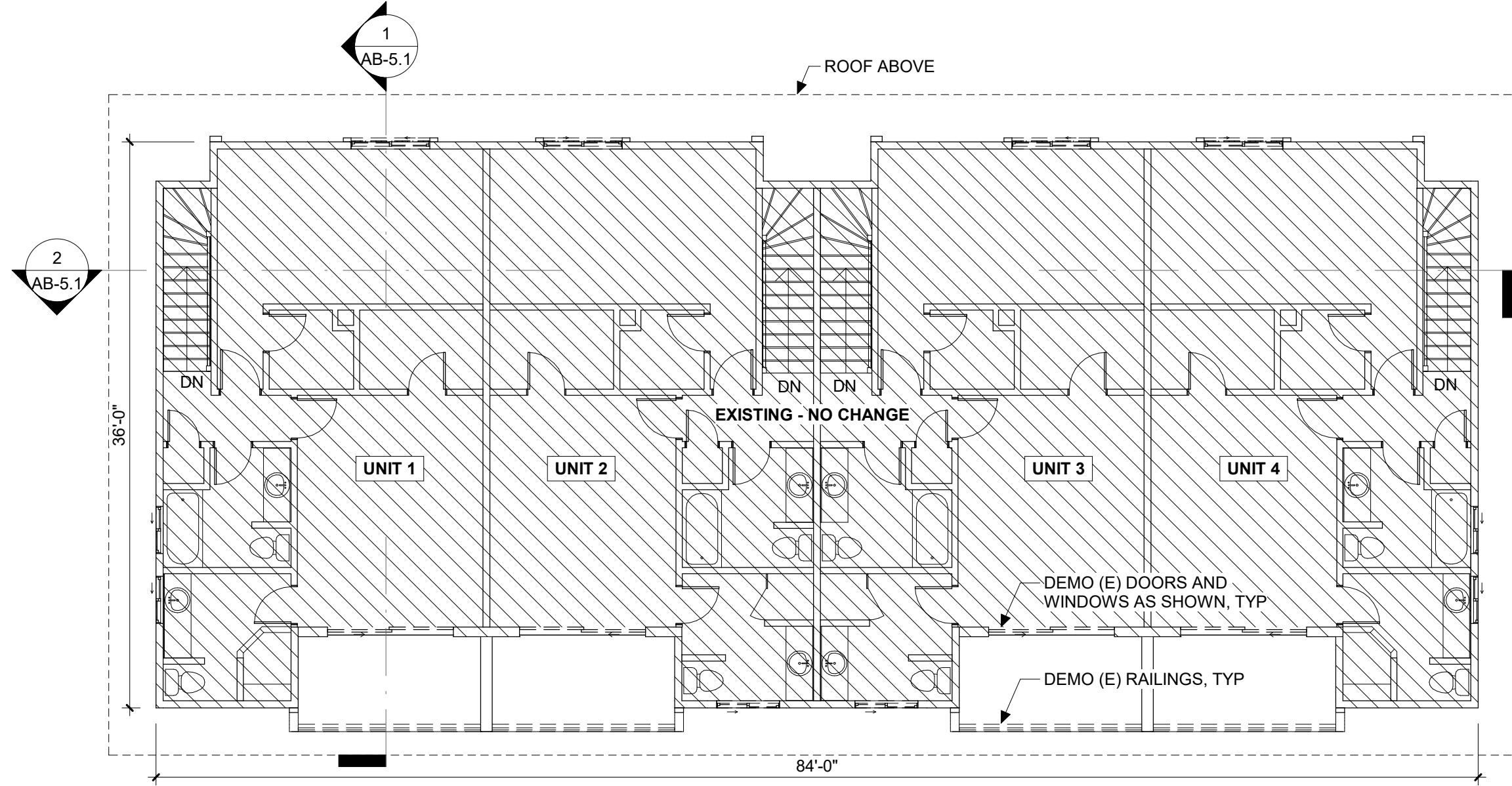
WALL LEGEND

SYMBOL	DESCRIPTION	ASSEMBLY
	(E) WALL TO BE DEMO'D	REFER TO (E) PLANS
	(E) WALL TO REMAIN AS-IS	REFER TO (E) PLANS
	(N) EXTERIOR 2X4 STUCCO WALL	2X4 DF STUDS @ 16" OC, 5/8" GYP INT, 7/8" STUCCO EXT
	(N) EXTERIOR 2X6 STUCCO WALL 1-HR FIRE-RATED	2X6 DF STUDS @ 16" OC, 5/8" TYPE X GYP INT, 7/8" STUCCO EXT

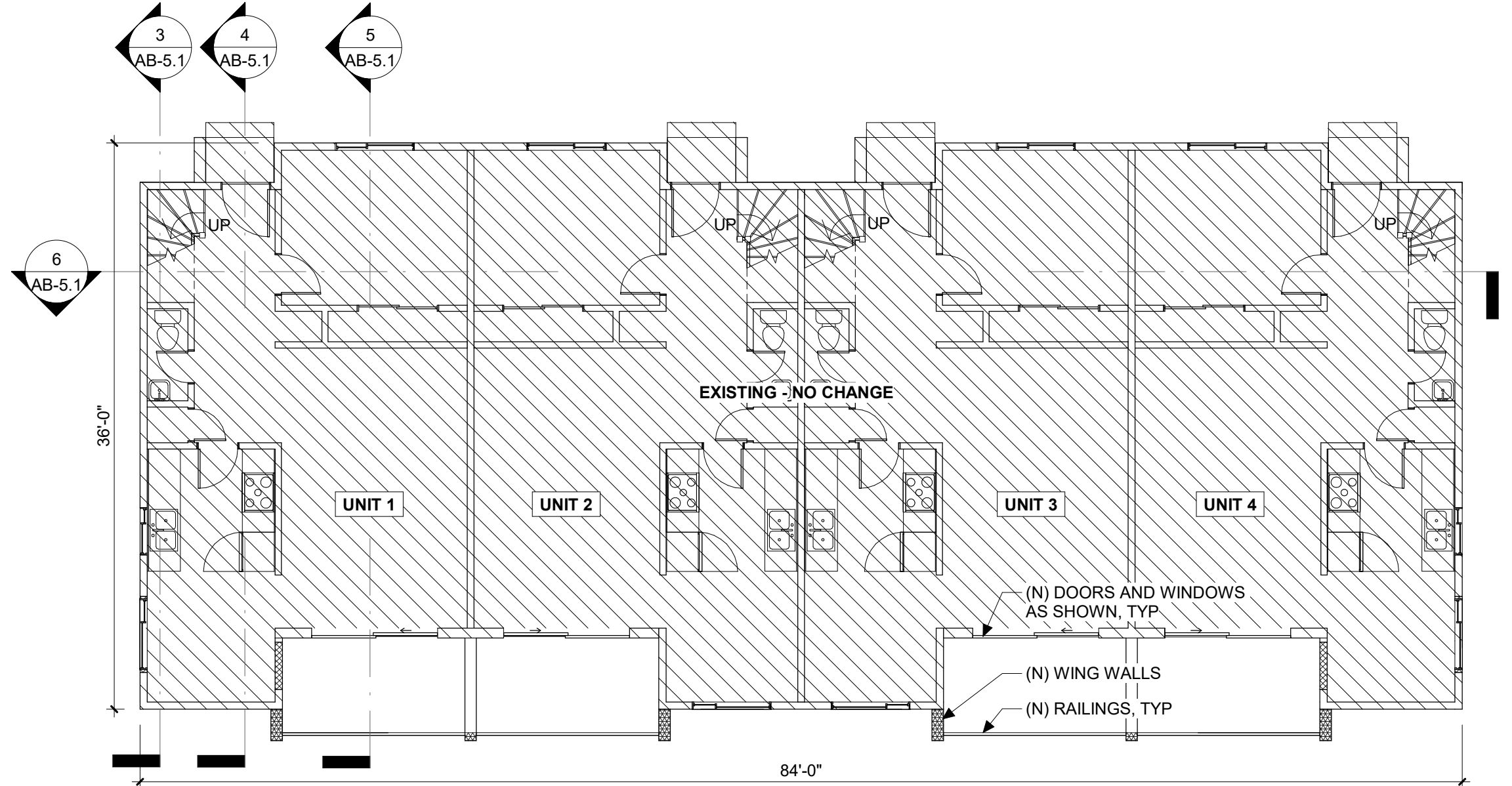
NOTES: INSULATION & SHEATHING PER SECTIONS AND/OR GENERAL NOTES
SHEATHING PER STRUCTURAL DRAWINGS/NOTES



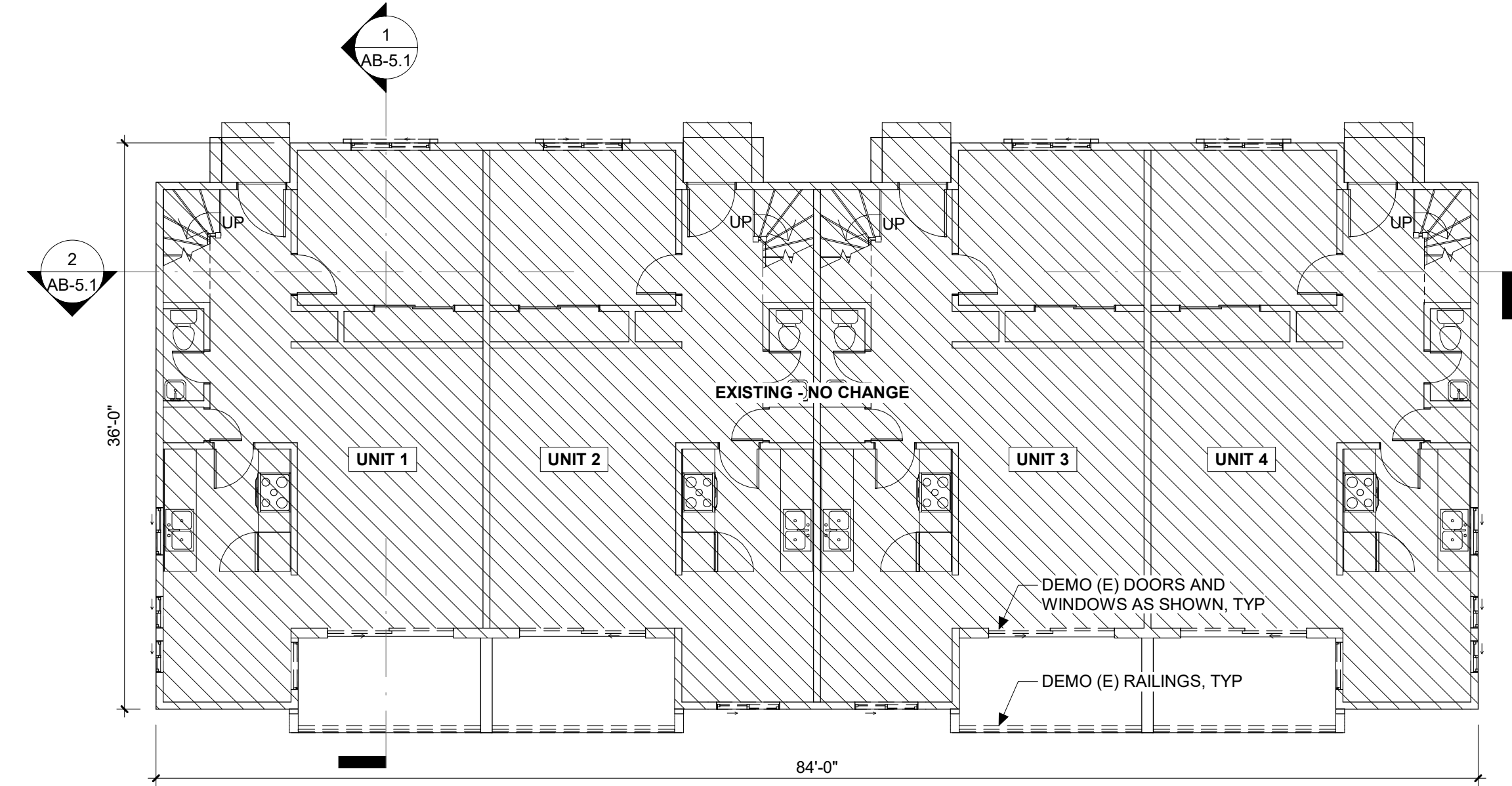
6 NEW THIRD FLOOR PLAN - BUILDING 805
1/8" = 1'-0"



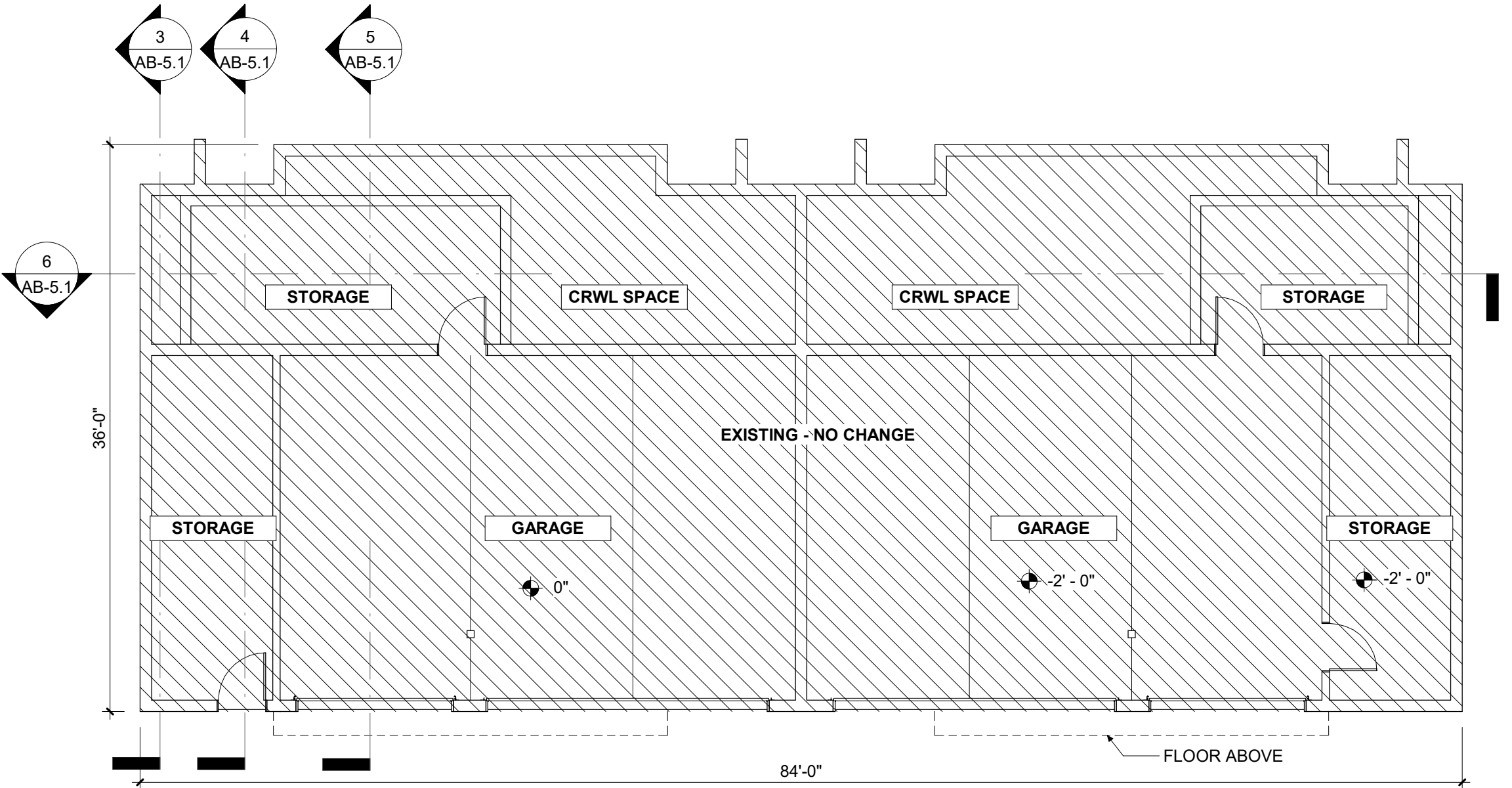
3 EXISTING/DEMO THIRD FLOOR PLAN - BUILDING 805
1/8" = 1'-0"



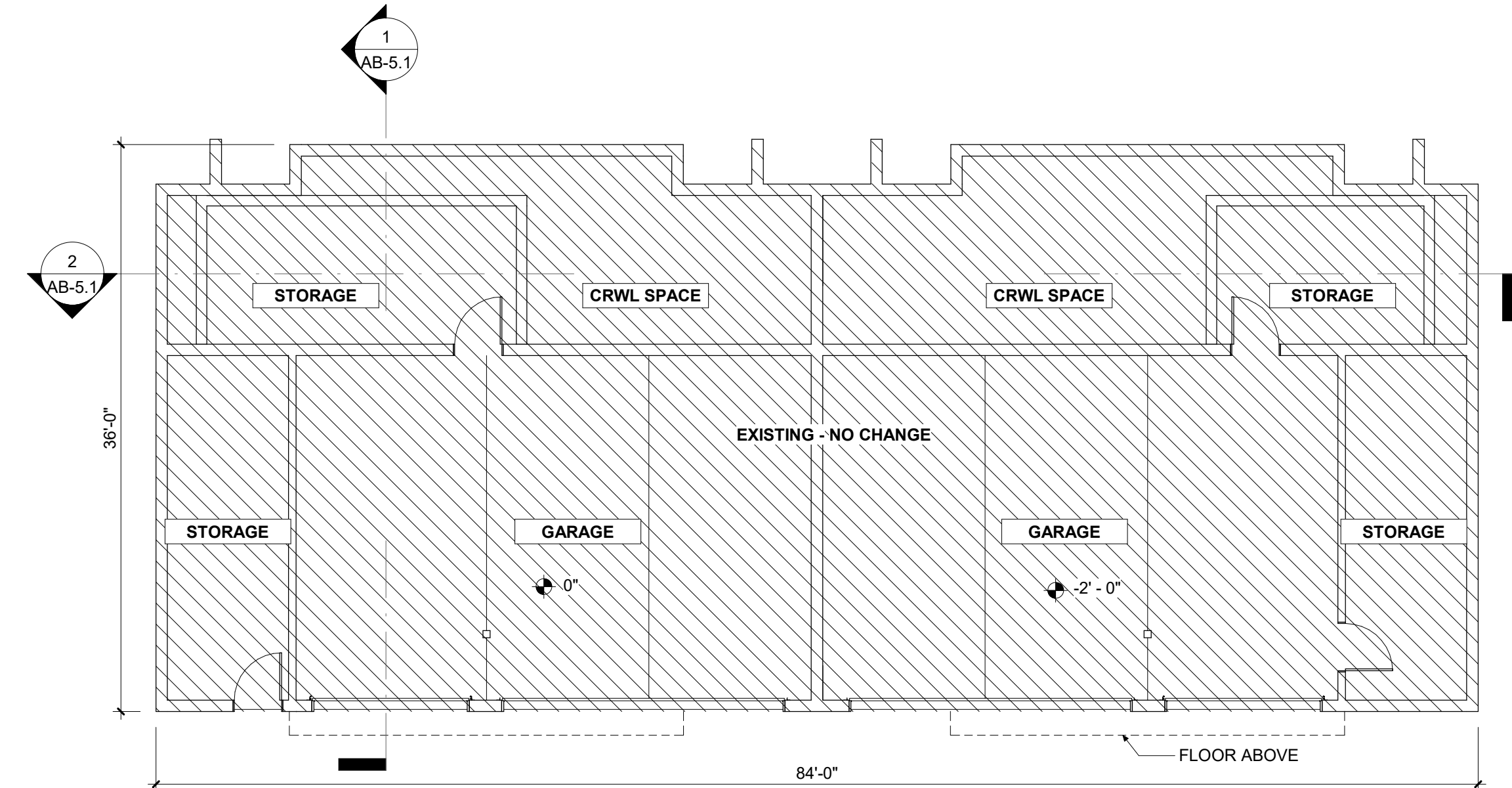
5 NEW SECOND FLOOR PLAN - BUILDING 805
1/8" = 1'-0"



2 EXISTING/DEMO SECOND FLOOR PLAN - BUILDING 805
1/8" = 1'-0"



4 NEW FIRST FLOOR PLAN - BUILDING 805
1/8" = 1'-0"



1 EXISTING/DEMO FIRST FLOOR PLAN - BUILDING 805
1/8" = 1'-0"



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BEACH CITY EXTERIOR

803, 805, 807, & 831 CLIFF DRIVE

SANTA BARBARA, CA 93109

(E)/(N) FLOOR PLANS - 805

Revision Schedule

PC#1 08.17.20

Project Manager
Designer

Scale
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(E)/(N) ROOF PLANS - 805

Revision Schedule

PC#1	08.17.20
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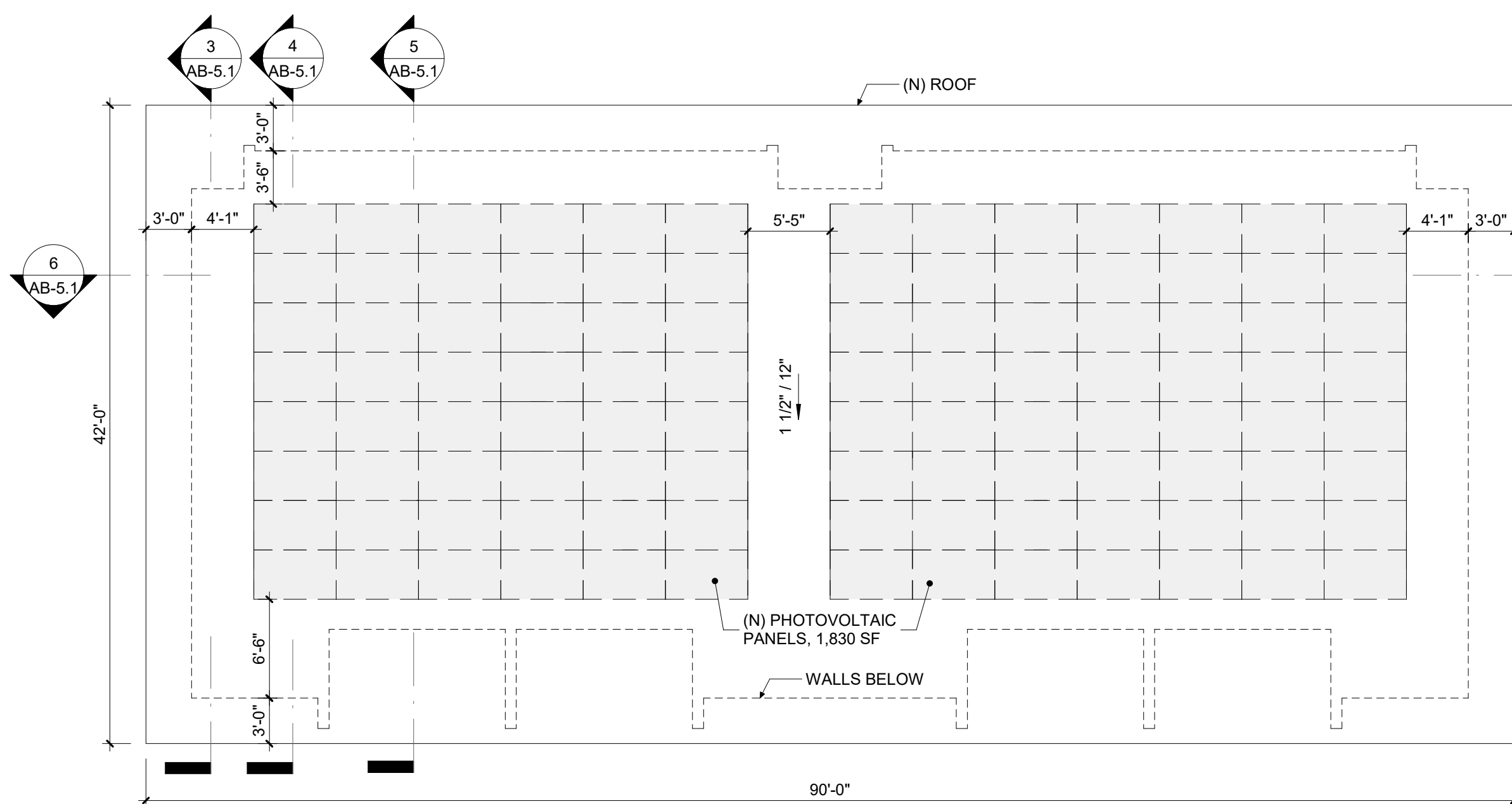
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ROOF PLAN NOTES

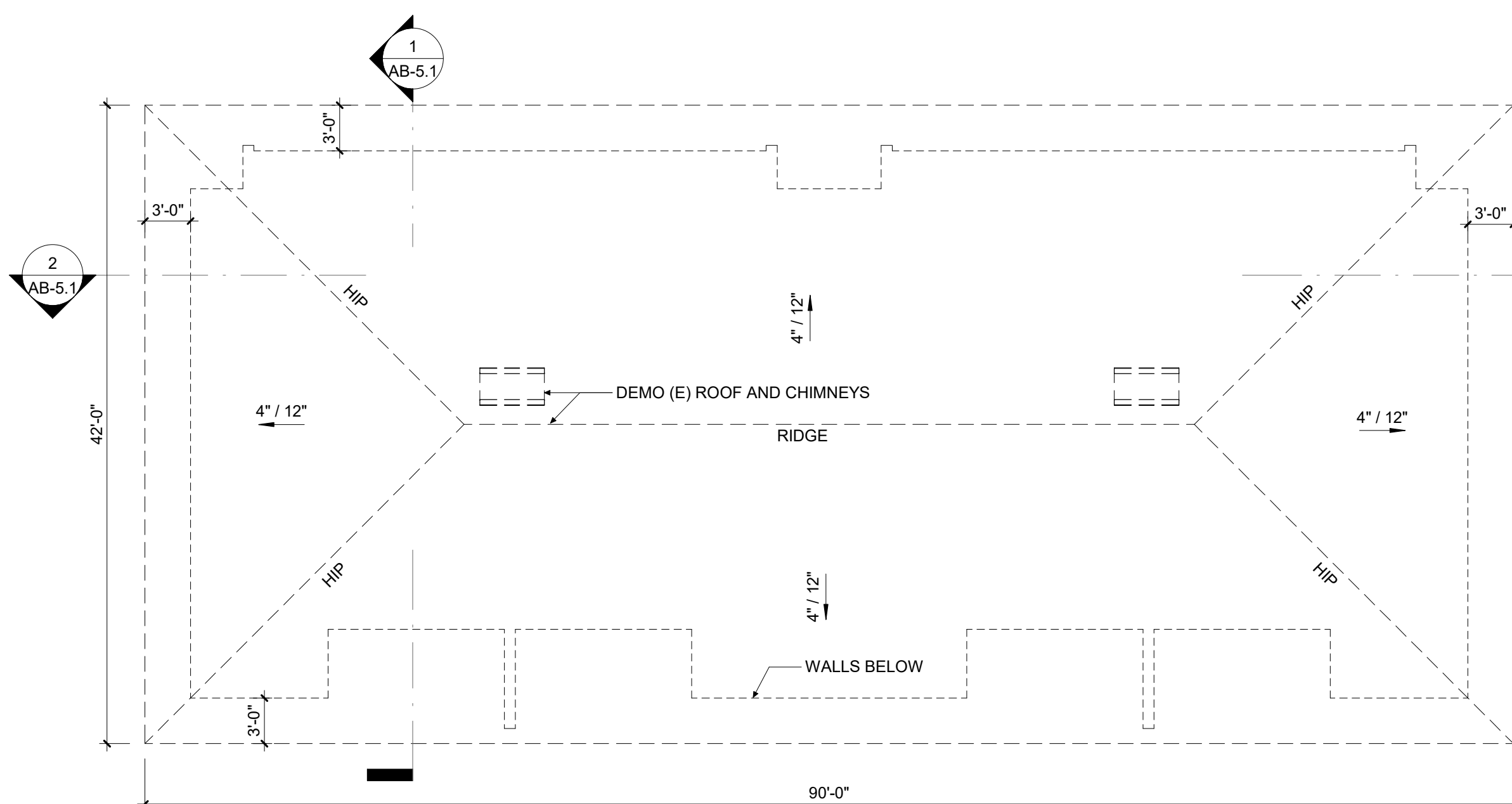
1. UNLESS OTHERWISE NOTED, REQ'D UNDERLAYMENT FOR ASPHALT SHINGLES SHALL CONFORM TO ASTM D 226 TYPE I, ASTM D 4869 TYPE I-V, OR ASTM D 6757.
2. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL COMPLY W/ ASTM D 1970.
3. ASPHALT SHINGLES SLOPE BETWEEN 2:12 - 4:12: UNDERLAYMENT SHALL BE TWO LAYERS & SHALL COMPLY W/ CRC R905.2.7 (APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO & STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36 INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES, & FASTENED SUFFICIENTLY TO HOLD IN PLACE) [CRC R905.2.4, CRC TABLES R905.1.1(1), R905.1.1(2)] [ATTACHMENTS PER CRC R905.1.1(3)].
4. ASPHALT SHINGLES SLOPE GREATER THAN 4:12: UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO & STARTING FROM THE EAVE & LAPPED 2 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE W/ THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES & SHALL BE OFFSET BY 6 FEET [CRC R905.2.4, CRC TABLES R905.1.1(1), R905.1.1(2)] [ATTACHMENTS PER CRC R905.1.1(3)].
5. ROOF SHEATHING SHALL BE STRUCTURAL "REFLECTIVE SHEATHING"
6. PROVIDE FLASHING (8" MIN LAP) AT ROOF JOINTS. COORDINATE FLASHING MATERIAL SELECTION W/ ARCHITECT, TYP.
7. COORDINATE LOCATION OF (N) VENT RISERS W/ ARCHITECT.
8. ALL VENTING EQUIPMENT ON ROOF TO BE PRIMED & PAINTED TO MATCH ROOF COLOR. ARCHITECT TO APPROVE COLOR IN WRITING.
9. ROOF DRAINS & OVERFLOW DRAINS, WHETHER OR NOT CONCEALED W/IN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED PER CRC R903.4 & THE CPC.
10. ENCLOSED ATTICS & ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEP SPACE BY VENTING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN & SNOW. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300TH OF THE SPACE VENTILATED PROVIDED A VAPOR BARRIER NOT EXCEEDING (1) PERM IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION [CRC R806.2] (THIS NOTE N/A FOR CONDITIONS COMPLYING W/ CRC R806.5 FOR UNVENTED ATTIC & UNVENTED ENCLOSED RAFTER ASSEMBLIES) PER CPC CH. 11.
11. A CHIMNEY FOR A RESIDENTIAL-TYPE OR LOW-HEAT APPLIANCE SHALL EXTEND NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE IT PASSES THROUGH A ROOF OF A BUILDING & NOT LESS THAN 2'-0" HIGHER THAN A PORTION OF A BUILDING W/IN A HORIZONTAL DISTANCE OF 10'-0". [CMC 802.5.4, NFPA 54:12.6.2.1].

ROOF TRUSS NOTES

1. TRUSS MFR TO PROVIDE BLOCKING & OUTRIGGERS, AS NEEDED.
2. TRUSS MFR TO PROVIDE FOR LET-IN RAFTER TAILS, AS NEEDED.
3. TRUSS PROFILES FOR REFERENCE ONLY. REFER TO TRUSS COMPANY FOR FINAL DESIGN.



1 NEW ROOF PLAN - BUILDING 805
1/8" = 1'-0"



2 (E) DEMO ROOF PLAN - BUILDING 805
1/8" = 1'-0"



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(E)/(N) SECTIONS - 805

Revision Schedule

PC#1	08.17.20
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Project Manager	Designer
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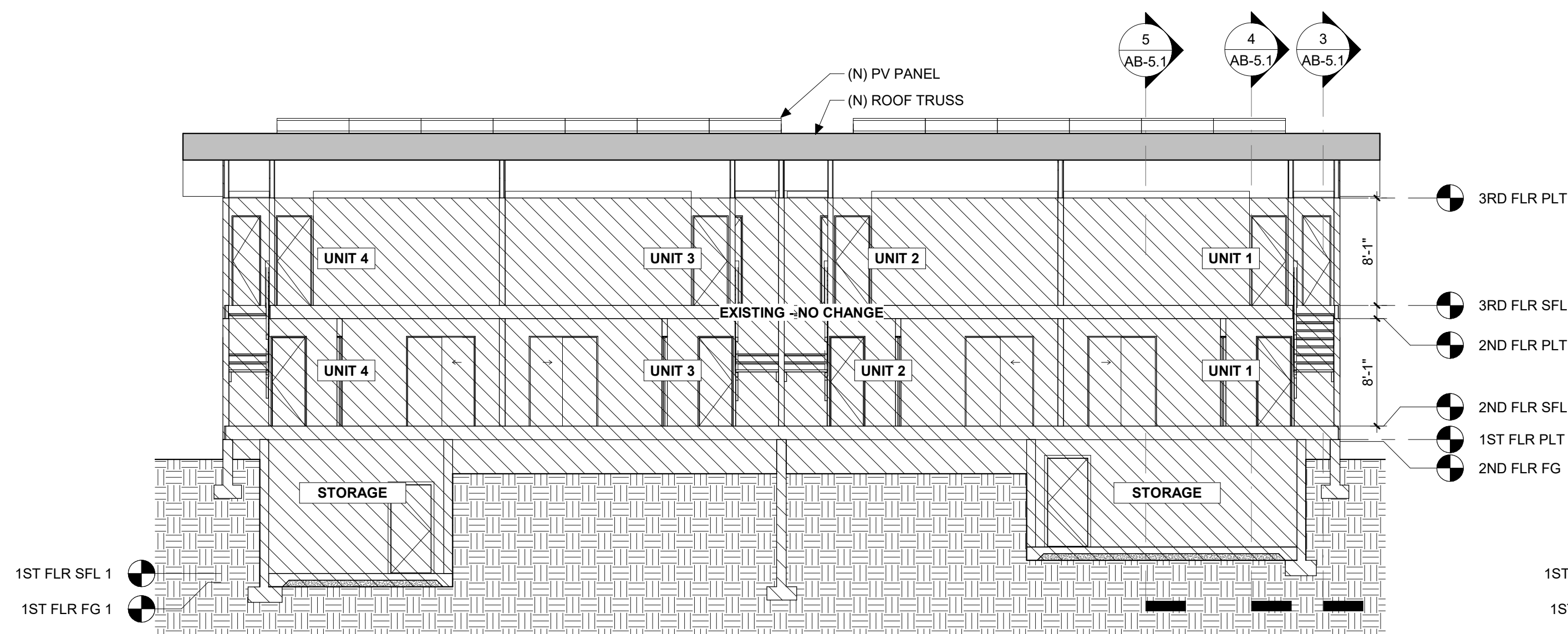
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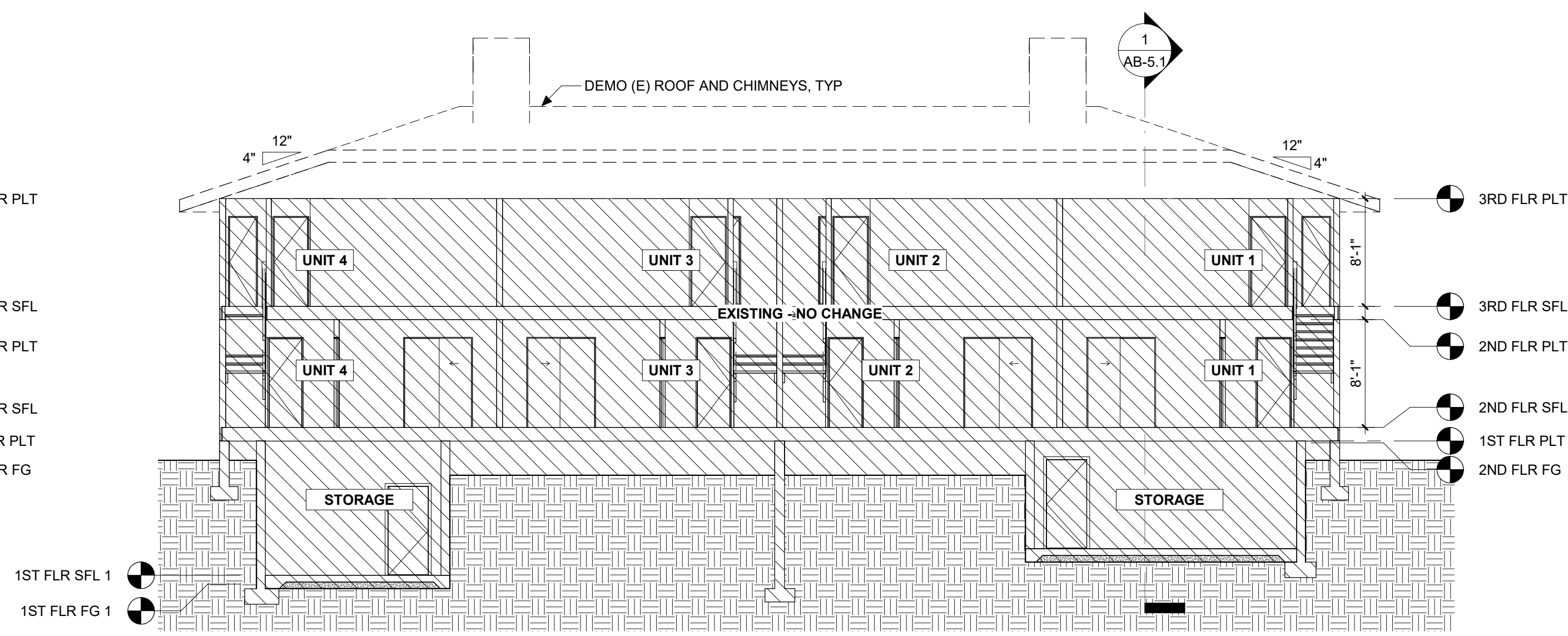
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SECTIONS NOTES

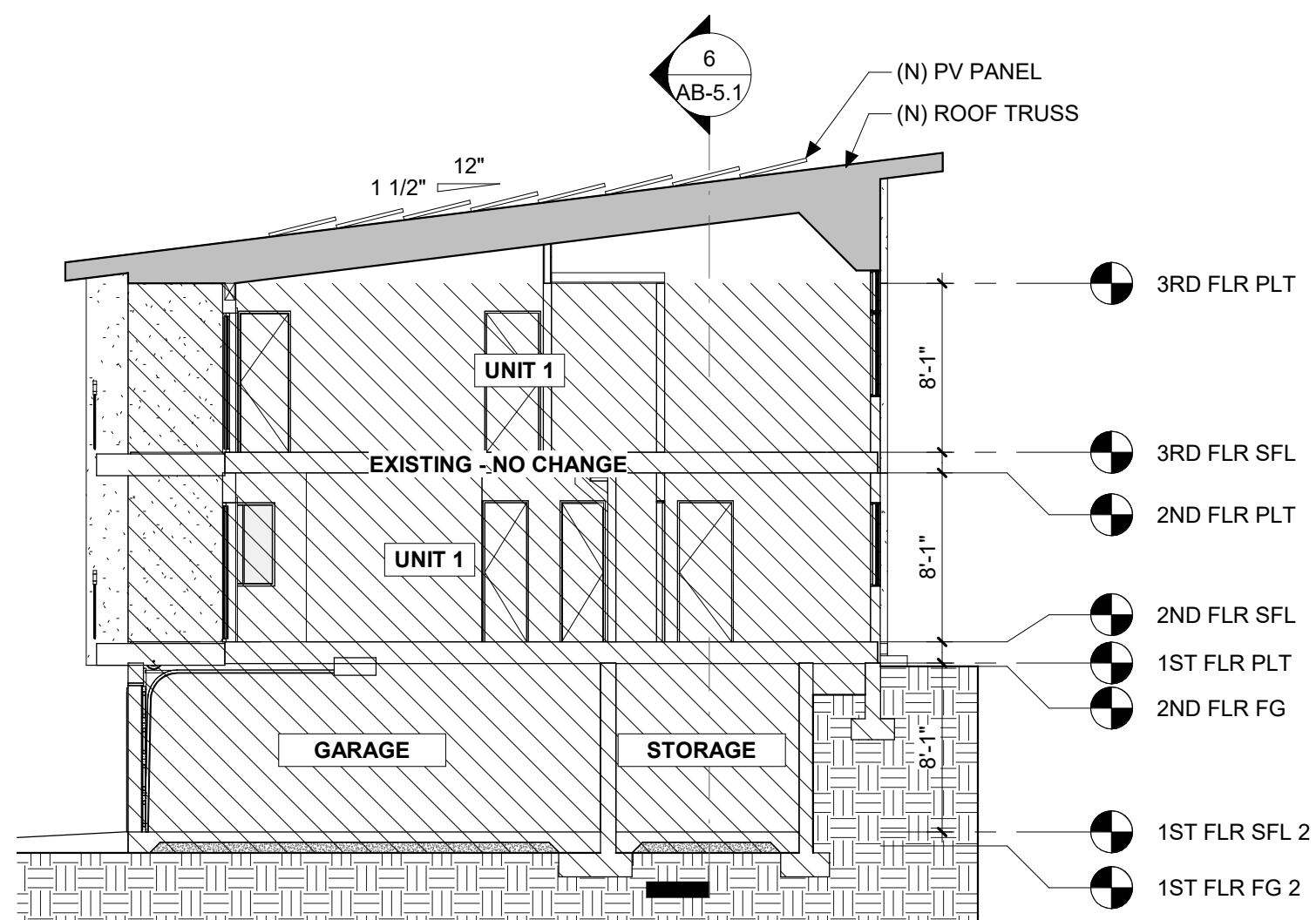
- MIN 5/8" TYPE "X" GYP AT WALLS & CEILINGS UON.
- MIN 2 LAYERS 5/8" TYPE "X" GYP AT GARAGE CEILINGS & USABLE SPACE BELOW STAIRS.
- WALL CONSTRUCTION PER WALL LEGEND, DETAILS & FRAMING NOTES.
- FLOOR SLAB PER STRUCTURAL PLANS.
- MIN 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER W/ JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONC FLOOR SLAB & THE BASE COURSE OR THE PREPARED SUBGRADE WHERE NO BASE COURSE EXISTS [CRC R506.2.3].
- CAPILLARY BREAK: A CAPILLARY BREAK SHALL BE INSTALLED TO COMPLY W/ CALGREEN 4.505.2.1.
- PROTECTION OF WOOD & WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED W/ THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE W/ AWPAC UI FOR THE SPECIES, PRODUCT, PRESERVATIVE & END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPAC UI. THIS REQ APPLIES IN THE FOLLOWING LOCATIONS:
 - WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18" INCHES TO THE EXPOSED GROUND
 - WOOD GIRDERS WHEN CLOSER THAN 12" INCHES TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED W/IN THE PERIPHERY OF THE BUILDING FOUNDATION
 - ALL FOUNDATION SILLS, PLATES, SLEEPERS, POSTS, & COLUMNS THAT REST ON CONC OR MASONRY MUST BE NATURALLY DURABLE OR PRESERVATIVE TREATED [CRC R317.1]



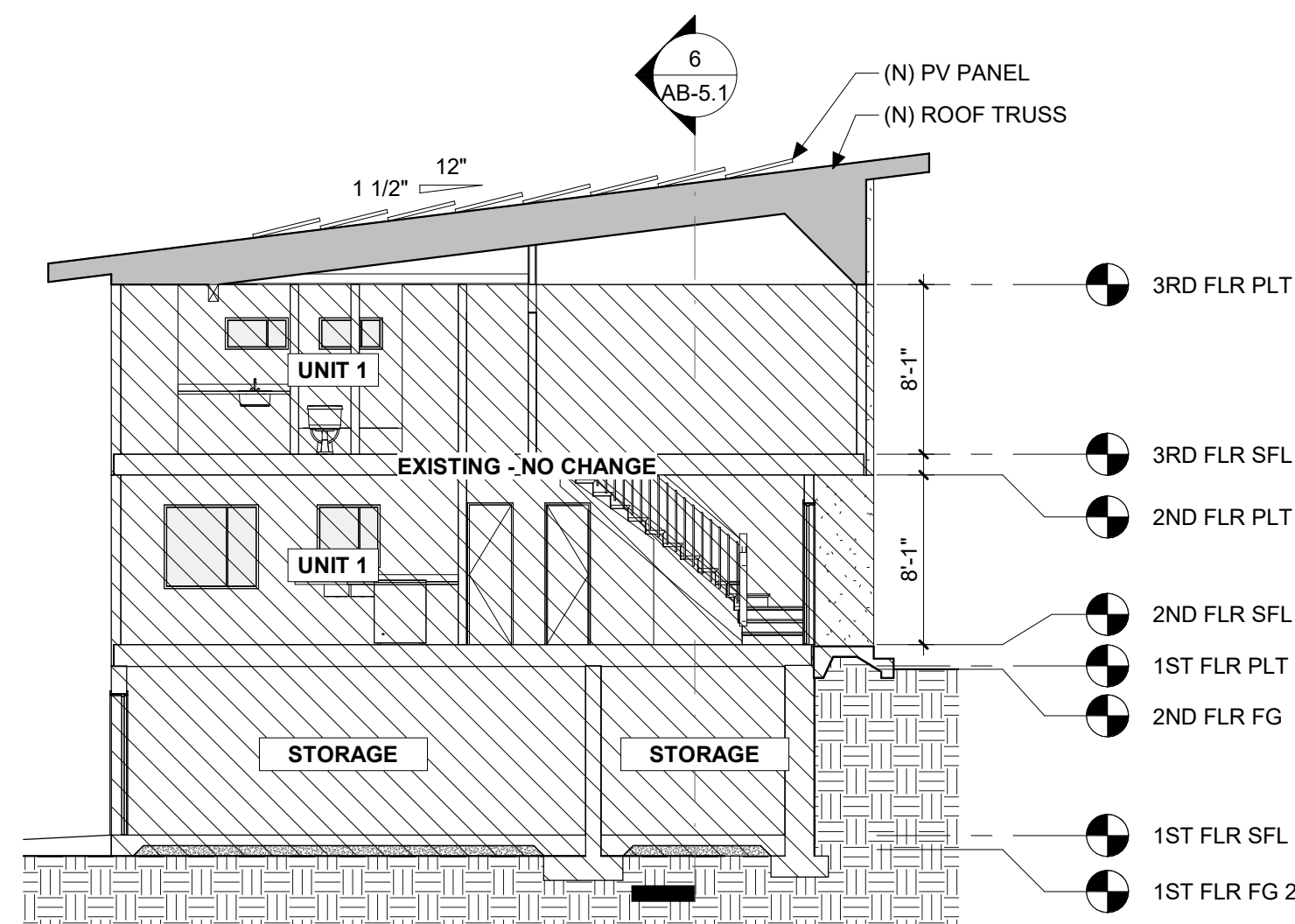
6 SECTION 6 - NEW - BUILDING 805
1/8" = 1'-0"



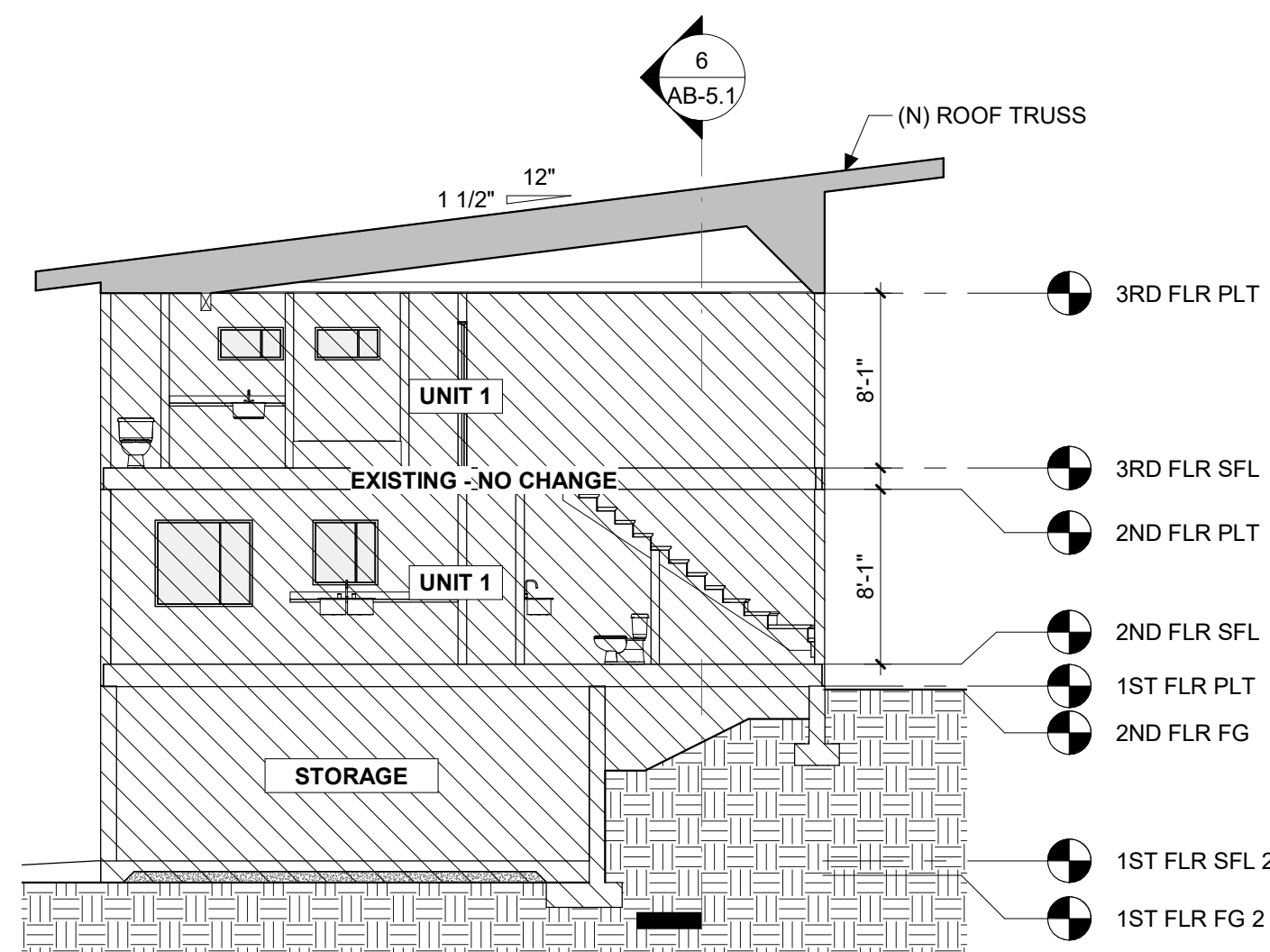
2 SECTION 2 - EXISTING - BUILDING 805
1/8" = 1'-0"



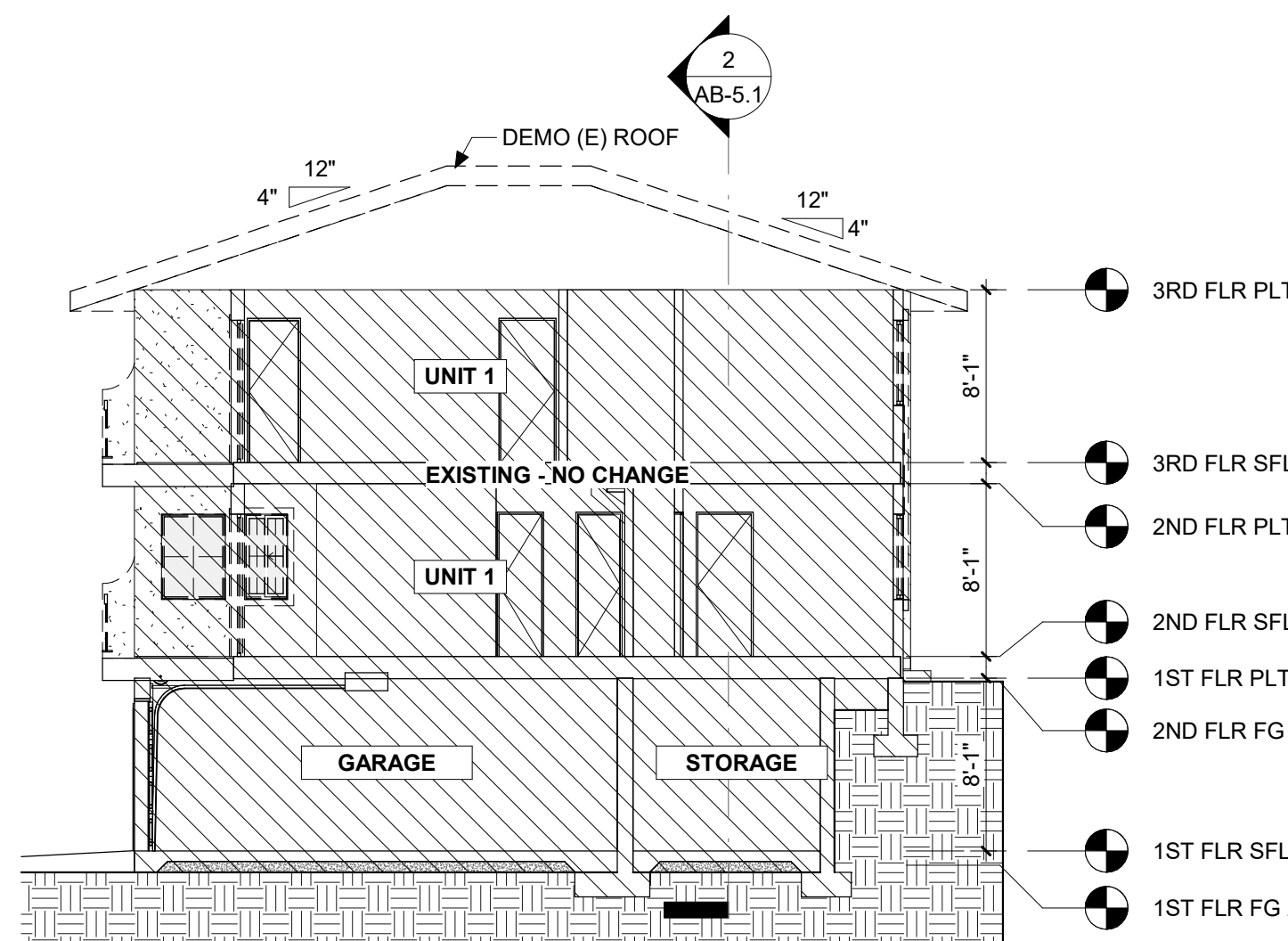
5 SECTION 5 - NEW - BUILDING 805
1/8" = 1'-0"



4 SECTION 4 - NEW - BUILDING 805
1/8" = 1'-0"



3 SECTION 3 - NEW - BUILDING 805
1/8" = 1'-0"



1 SECTION 1 - EXISTING - BUILDING 805
1/8" = 1'-0"

ELEVATION NOTES

1. ETCH/PREP, PRIME & PAINT ROOF PROTRUSIONS TO MATCH ROOF, TYP.

2. ROOF VENTS TO BE GROUPED TO THE EXTENT FEASIBLE.

3. FOR PENETRATIONS IN RATED WALL ASSEMBLIES, REFER TO CBC.

4. SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL TRADE-RELATED ITEMS AS CONTAINED W/IN FULL CONSTRUCTION DOCUMENTS.

5. ALL ELECTRICAL, GAS, PLUMBING & MECHANICAL PENETRATIONS IN EXTERIOR WALLS SHALL BE FLASHED W/ "QUICKFLASH" WATERPROOFING PRODUCTS (WWW.QUICKFLASHPRODUCTS.COM) OR EQUAL.

6. EXTERIOR OF BUILDING SHALL BE WRAPPED W/ MIN GRADE "D" PRIOR TO INSTALLING FINISH MATERIAL. INSTALL PER MFR INSTRUCTIONS.

7. FLASH/COUNTER FLASH AT ALL ROOF-TO-WALL CONDITIONS.

8. ALL FLASHING SHALL BE CONSISTENT W/ ROOF & WALL FINISH. DISSIMILAR METALS SHALL NOT BE IN CONTACT W/ EACH OTHER. SPECIFIED ON ELEVATIONS.
9. BACKPRIME ALL UNFINISHED TRIM EDGES PRIOR TO INSTALLATION, TYP.

10. WOOD FRAMING MEMBERS (INCLUDING WOOD SHEATHING) THAT REST ON FOUNDATION WALLS & ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD [CBC § 2304.11.2.2].

11. RAKED BOARDS & TRIM BEYOND THE RAKE SHALL BE CONTINUOUS.

12. ELEVATION VALUES REFER TO STRUCTURAL LEVELS. REFER TO INTERIOR ELEVATIONS FOR CRITICAL DIMS FROM FINISHED SURFACES.

13. ALL EXTERIOR WALL COVERINGS SHALL BE APPLIED PER CRC R703.

14. APPROVED NUMBERS OR ADDRESSES SHALL BE POSTED, PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY [CFC 505.1].

15. ALL GUTTERS SHALL BE SIZED PER CPC CH. 11. ALL DRAINS & GUTTERS SHALL COMPLY W/ CPC CH. 11 REQ.

SEE MECHANICAL / ELECTRICAL / PLUMBING PLANS FOR ITEMS NOT SHOWN OR



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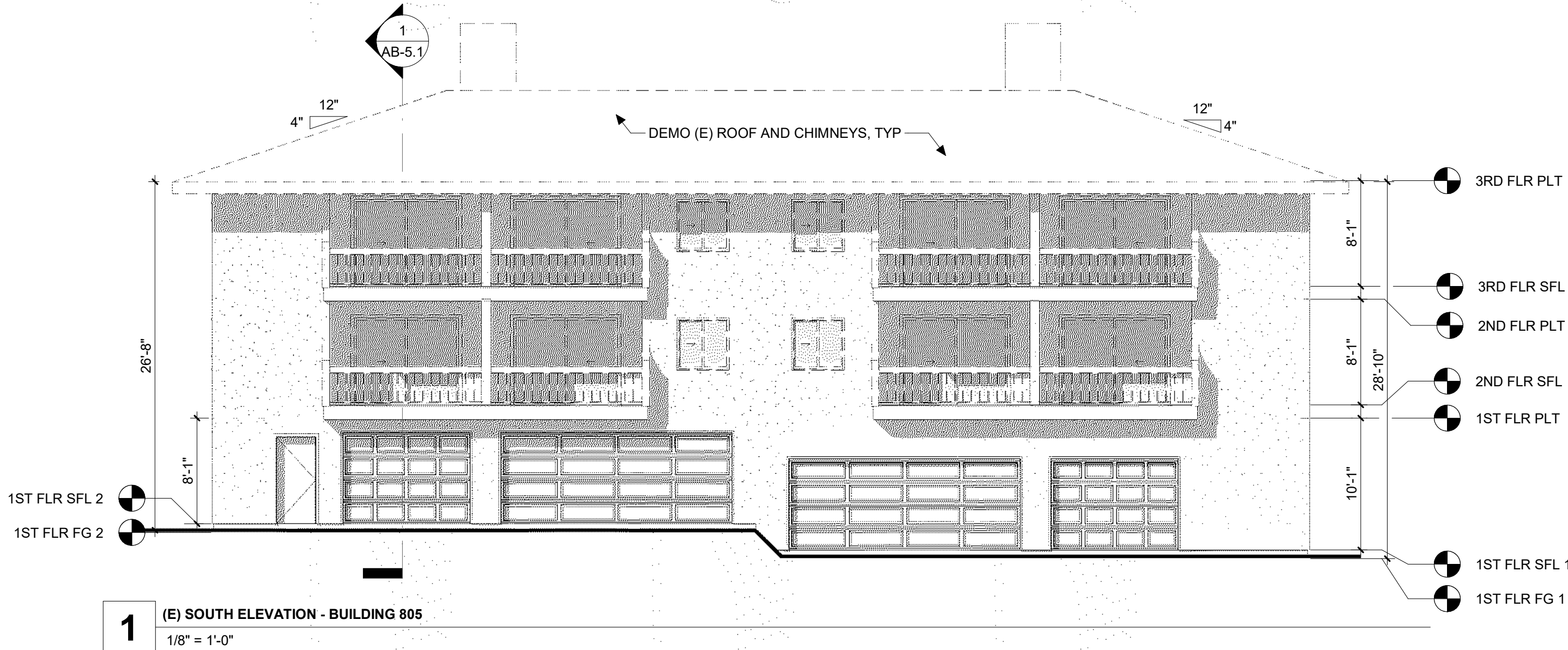
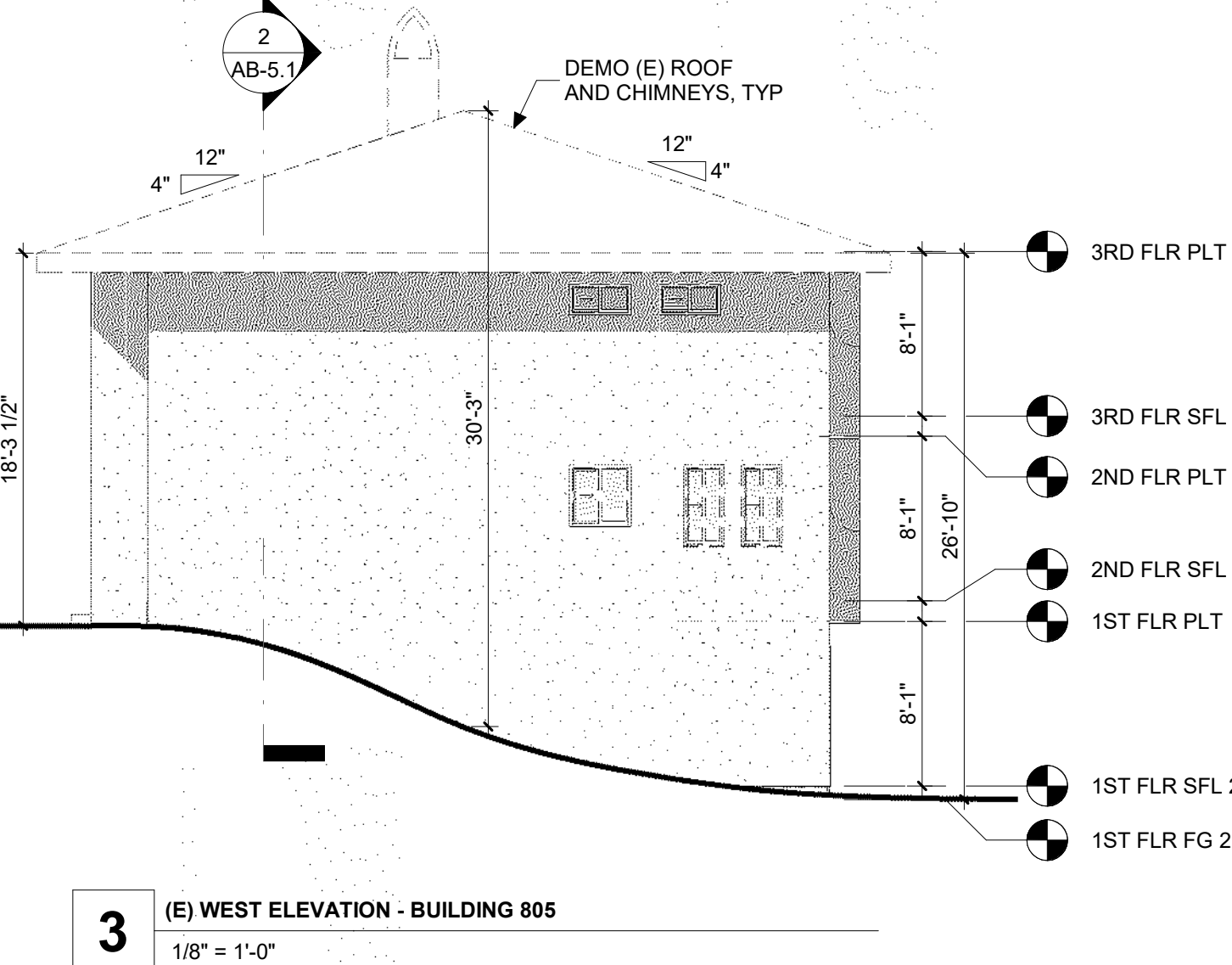
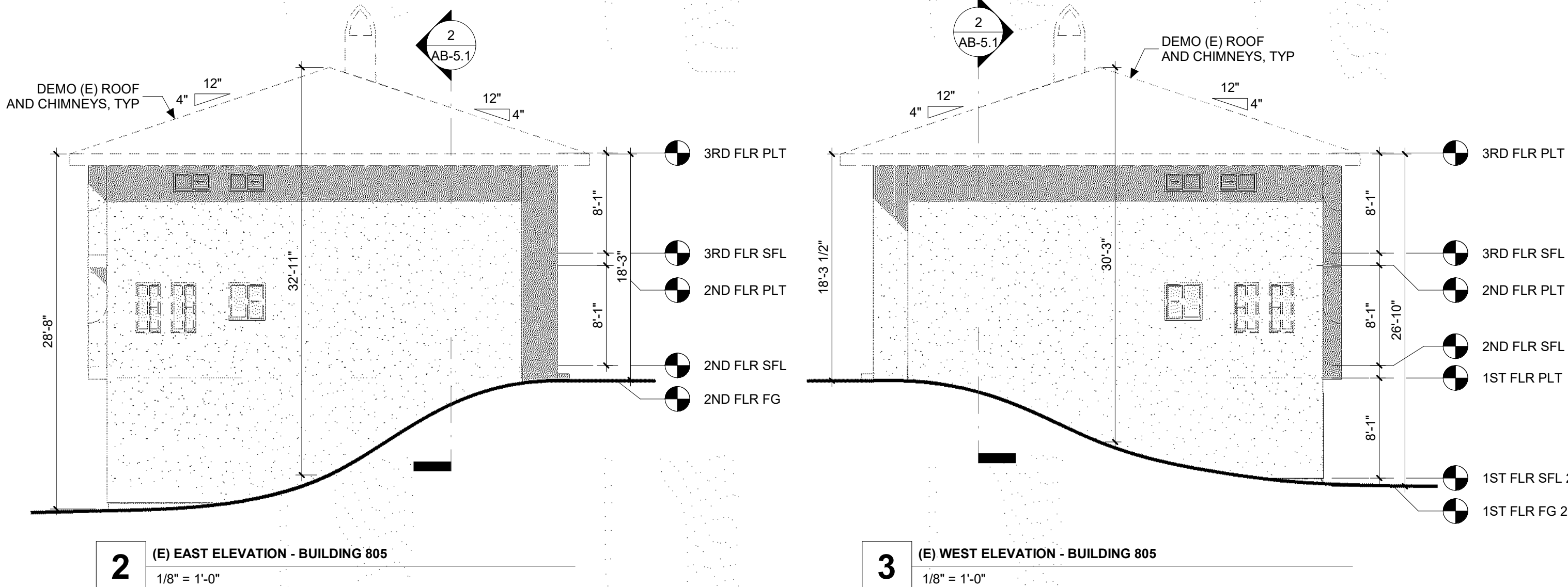
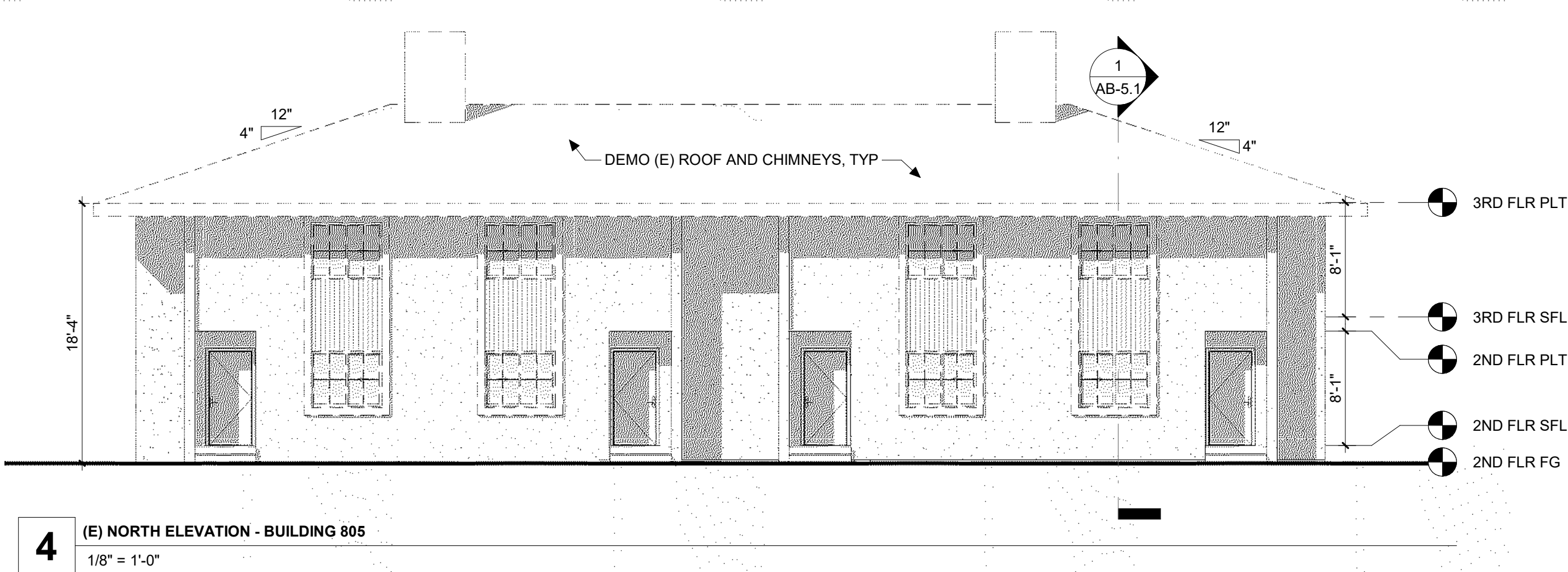
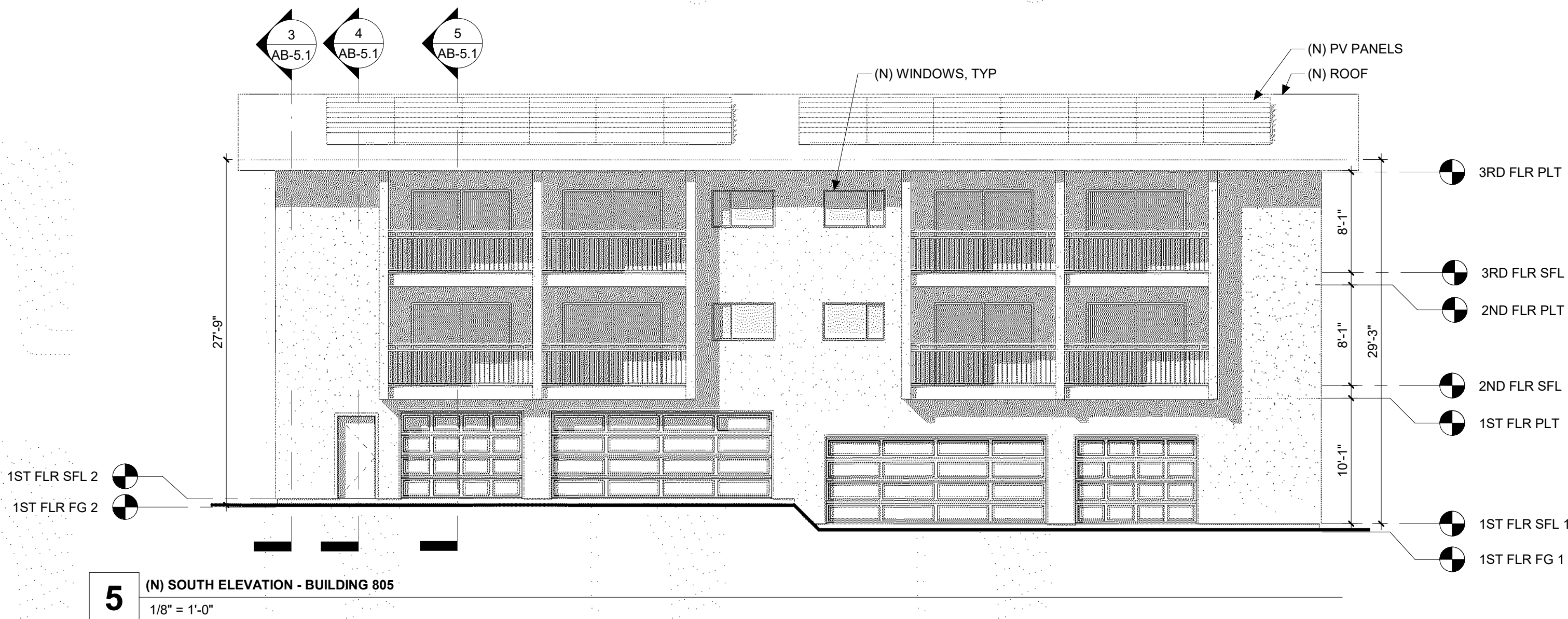
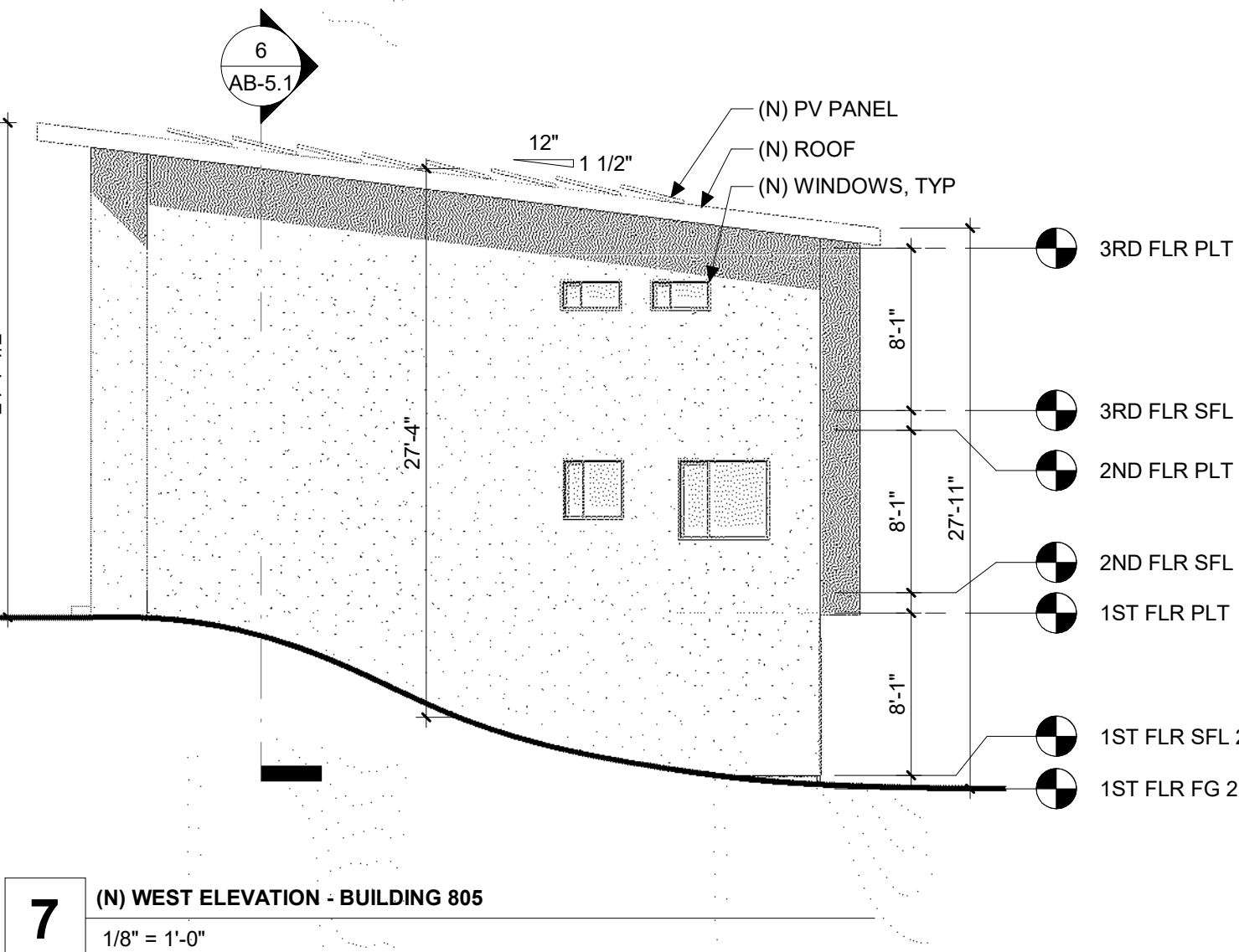
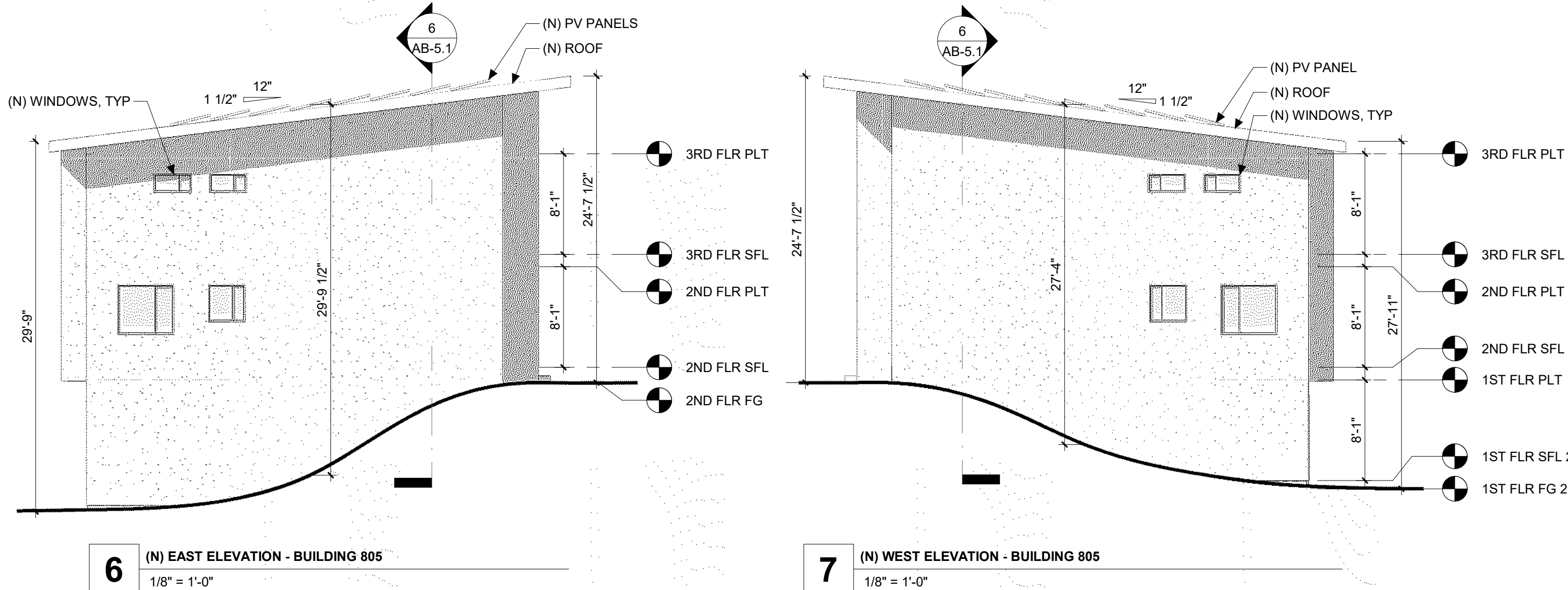
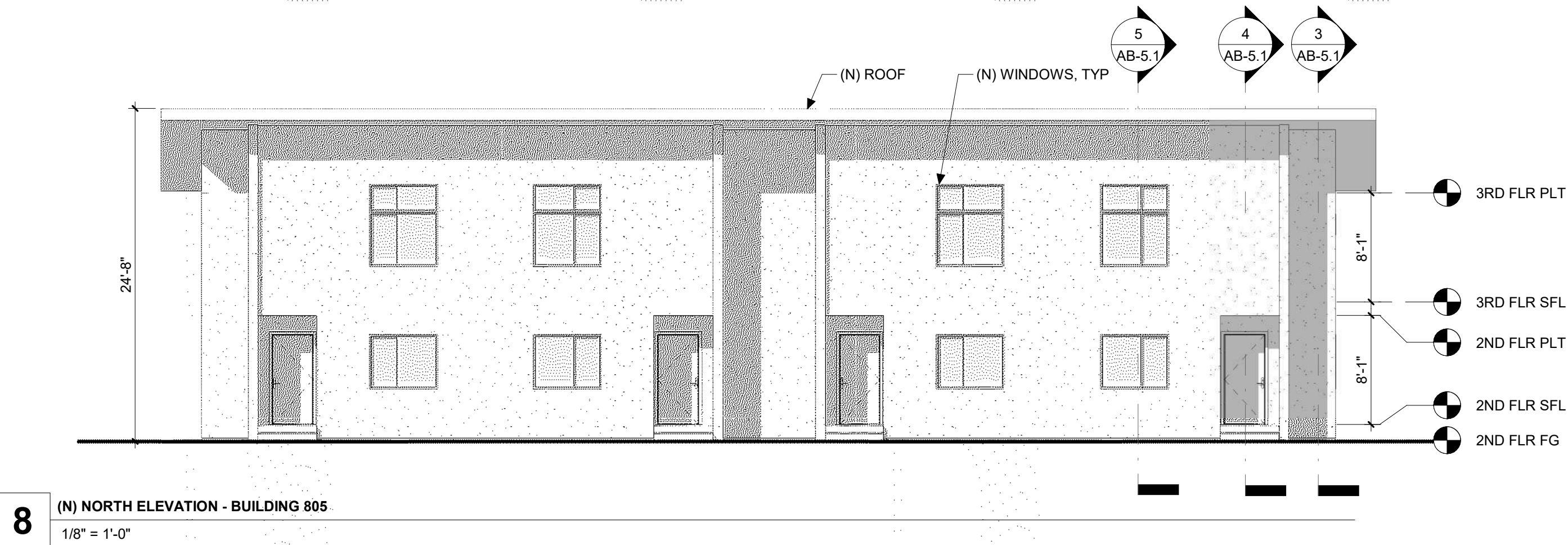
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

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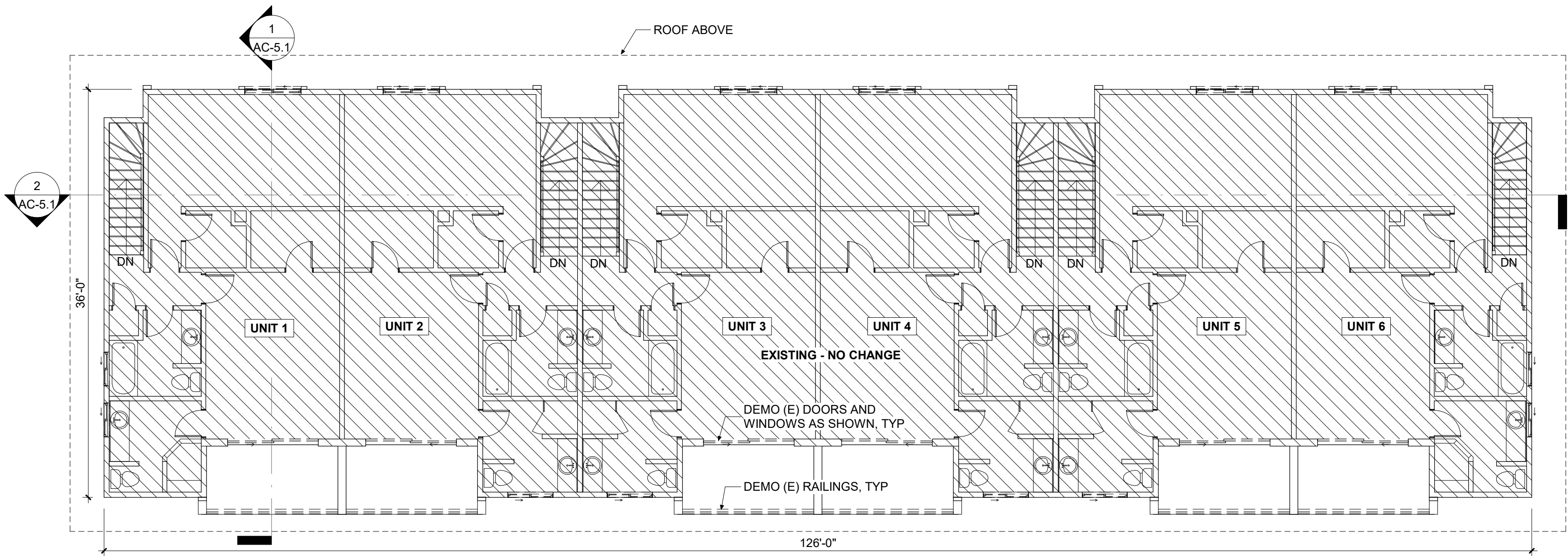
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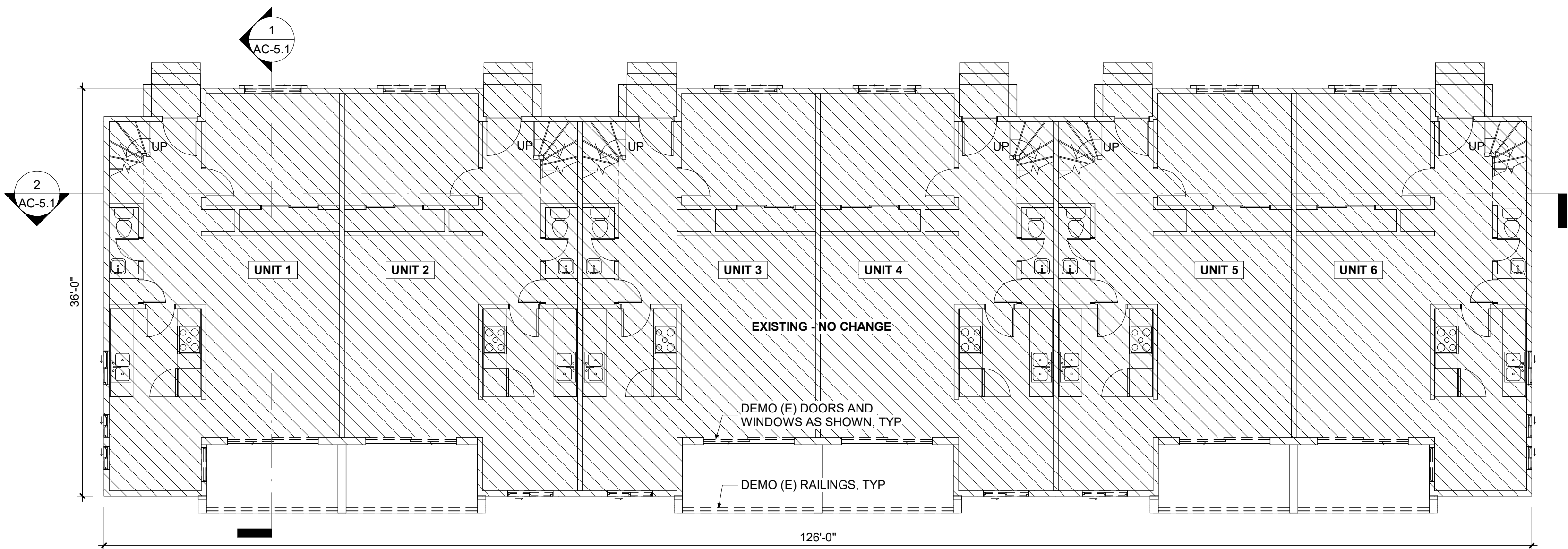
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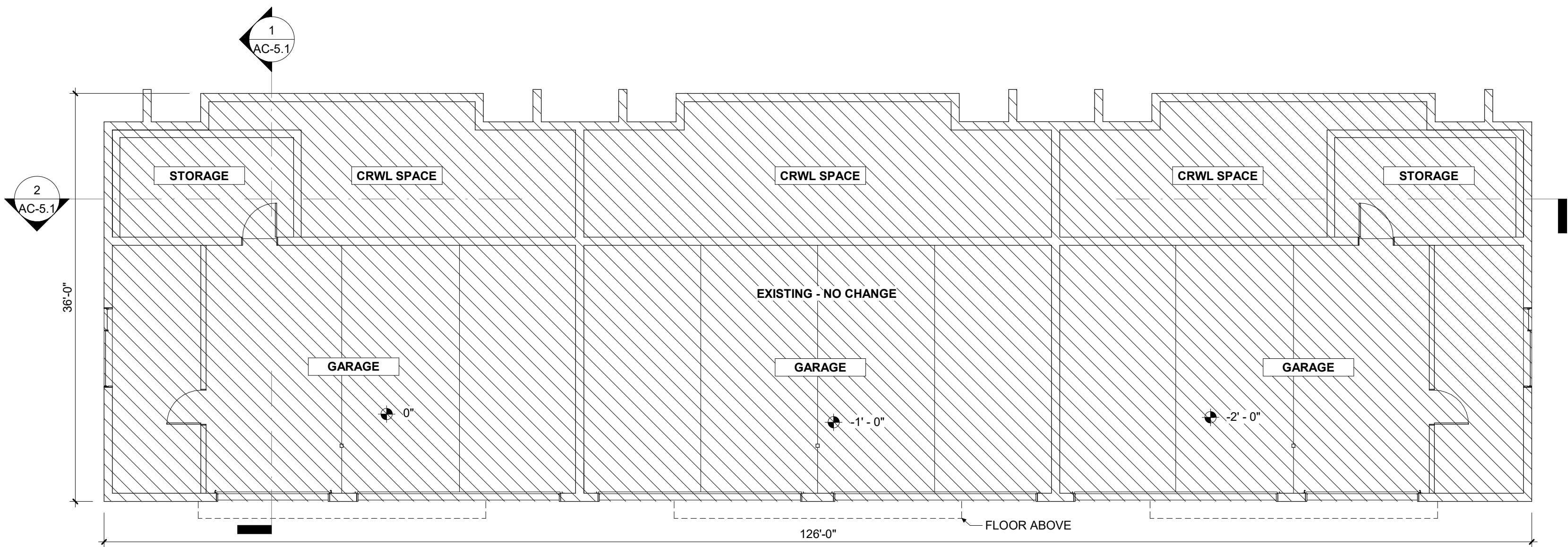
EXISTING/DEMO WALL LEGEND		
SYMBOL	DESCRIPTION	
	EXISTING WALL	TO BE DEMOLISHED
	EXISTING WALL	TO REMAIN AS-IS



3 EXISTING/DEMO 3RD FLOOR PLAN - BUILDING 807
1/8" = 1'-0"



2 EXISTING/DEMO 2ND FLOOR PLAN - BUILDING 807
1/8" = 1'-0"



1 EXISTING/DEMO FIRST FLOOR PLAN - BUILDING 807
1/8" = 1'-0"



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(E) FLOOR PLANS - 807

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1/8" = 1'-0"

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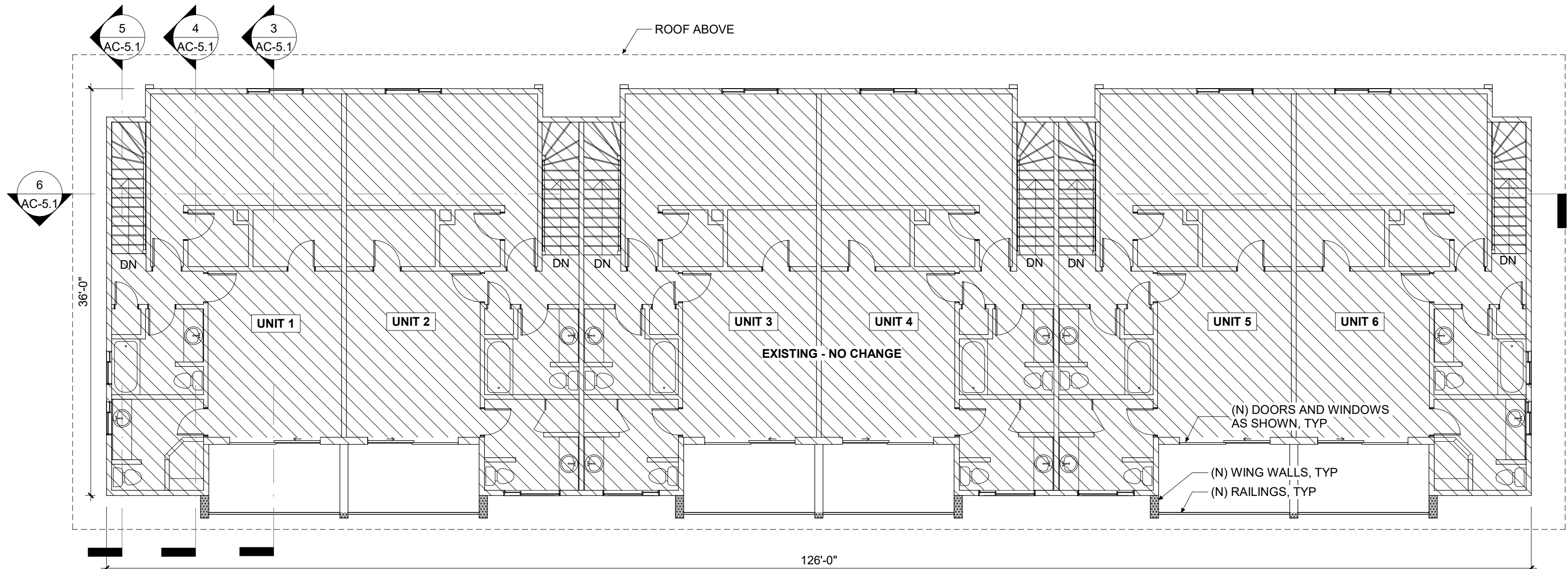
FLOOR PLAN NOTES

1. FIELD MEASUREMENTS TAKE PRECEDENCE OVER WRITTEN DIMS. WHERE THERE IS A DISCREPANCY, THE DESIGNER OR ENGINEER OF RECORD SHALL BE NOTIFIED.
2. ALL PLAN DIMENSIONS TAKEN FROM EDGE OF STRUCTURAL COMPONENTS (E.G., WALL SHEATHING, STUDS, SLAB, ETC.), UON.
3. EXTERIOR WALLS DIMENSIONED TO OUTSIDE OF SHEATHING, UON. INTERIOR WALLS DIMENSIONED TO SIDE OF STUD, UON.
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10. HARDWIRED & INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTORS W/ BATTERY BACK-UP REQ'D IN EACH BEDROOM & IN AREAS LEADING TO BEDROOMS. A SMOKE DETECTOR IS ALSO REQ'D AT EACH SEP STORY OF A DWELLING, INCLUDING BASEMENTS & HABITABLE ATTICS. [CRC R314 & R315] SEE ELECTRICAL PLANS FOR LOCATIONS.
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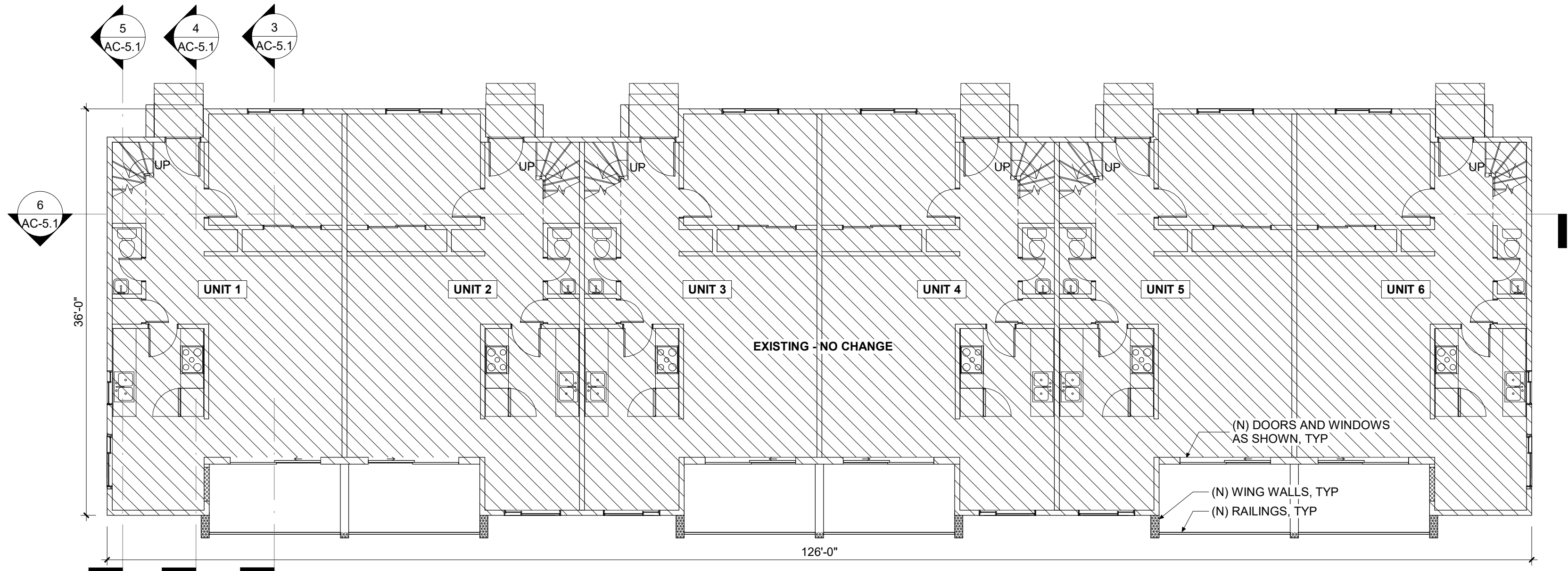
WALL LEGEND

SYMBOL	DESCRIPTION	ASSEMBLY
	(E) WALL TO BE DEMO'D	REFER TO (E) PLANS
	(E) WALL TO REMAIN AS-IS	REFER TO (E) PLANS
	(N) EXTERIOR 2X4 STUCCO WALL	2X4 DF STUDS @ 16" OC, 5/8" GYP INT, 7/8" STUCCO EXT
	(N) EXTERIOR 2X6 STUCCO WALL	2X6 DF STUDS @ 16" OC, 7/8" STUCCO BOTH SIDES

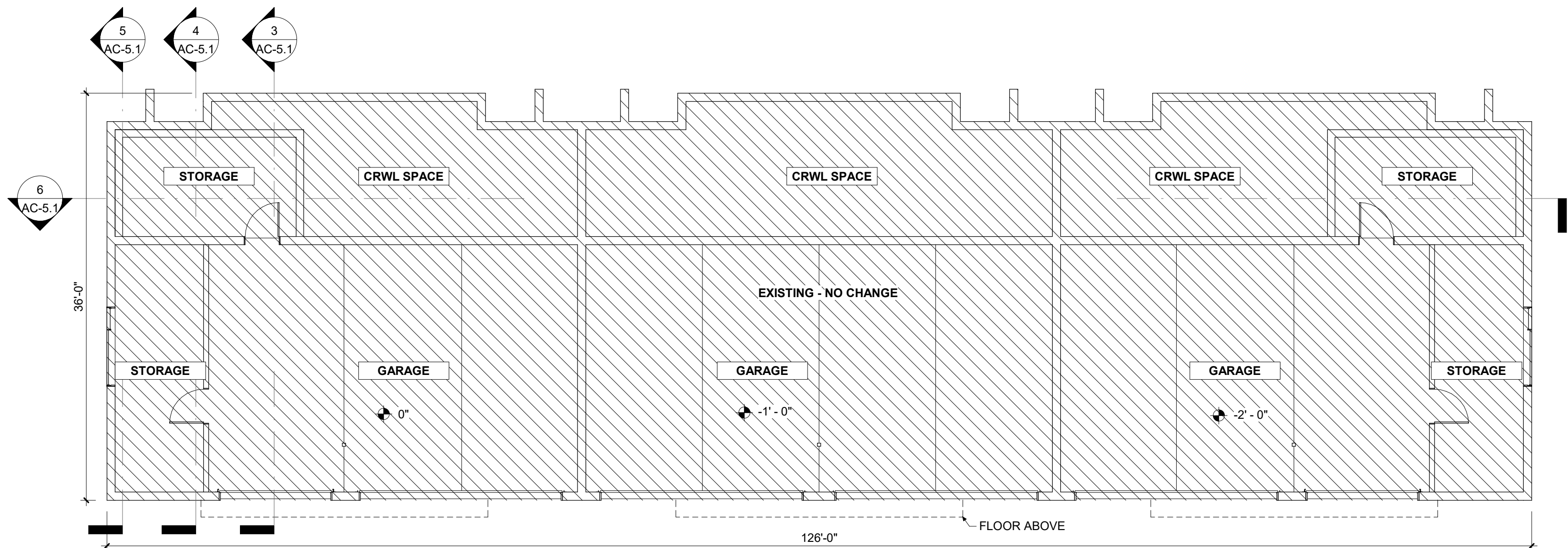
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SHEATHING PER STRUCTURAL DRAWINGS/NOTES



3 NEW THIRD FLOOR PLAN - BUILDING 807
1/8" = 1'-0"



2 NEW SECOND FLOOR PLAN - BUILDING 807
1/8" = 1'-0"



1 NEW FIRST FLOOR PLAN - BUILDING 807
1/8" = 1'-0"



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(N) FLOOR PLANS - 807

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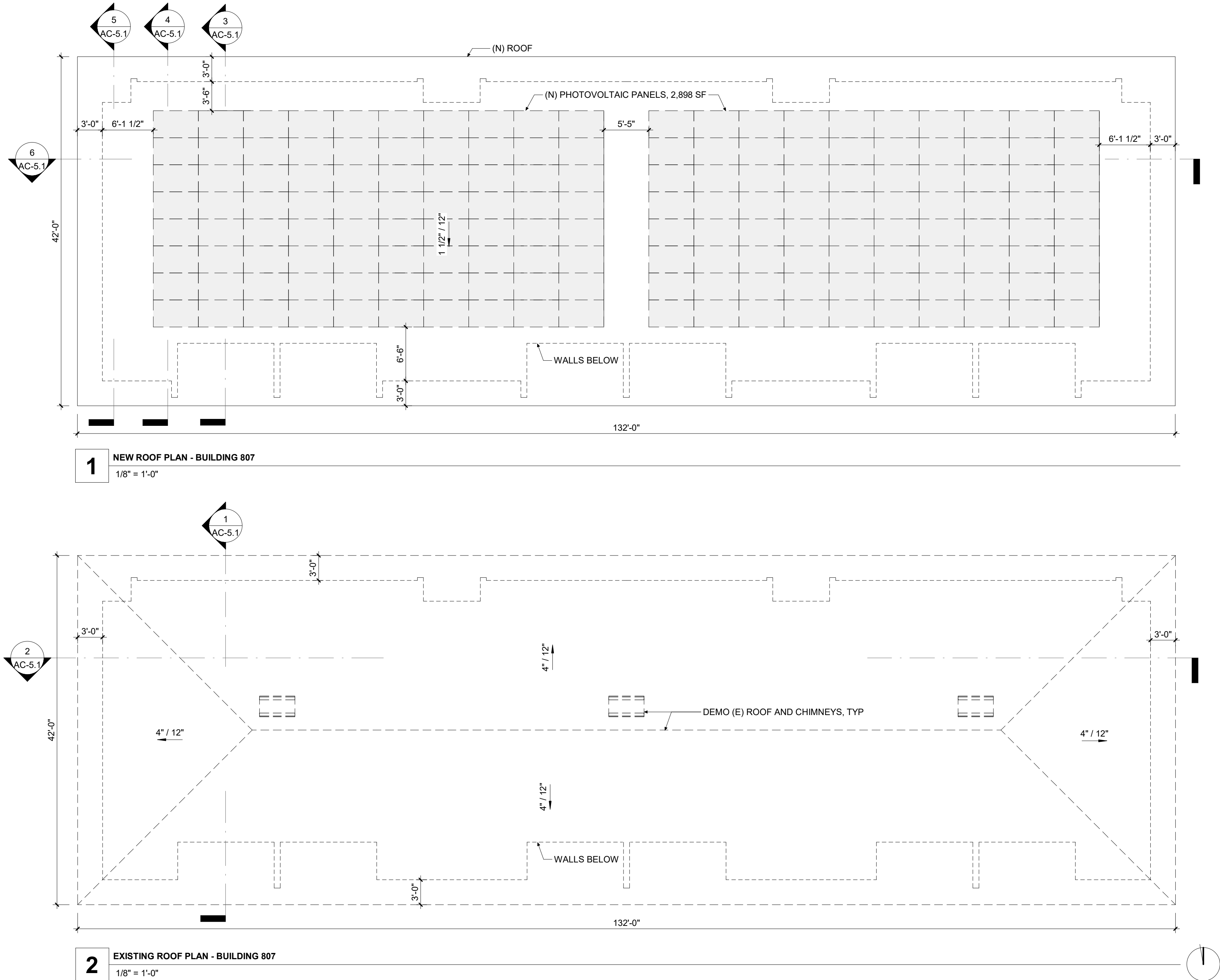
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ROOF PLAN NOTES

1. UNLESS OTHERWISE NOTED, REQ'D UNDERLAYMENT FOR ASPHALT SHINGLES SHALL CONFORM TO ASTM D 226 TYPE I, ASTM D 4869 TYPE I-IV, OR ASTM D 6757.
2. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL COMPLY W/ ASTM D 1970.
3. ASPHALT SHINGLES SLOPE BETWEEN 2:12 - 4:12: UNDERLAYMENT SHALL BE TWO LAYERS & SHALL COMPLY W/ CRC R905.2.7 (APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO & STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE, STARTING AT THE EAVE. APPLY 36 INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES, & FASTENED SUFFICIENTLY TO HOLD IN PLACE) [CRC R905.2.4, CRC TABLES R905.1.1(1), R905.1.1(2)] [ATTACHMENTS PER CRC R905.1.1(3)].
4. ASPHALT SHINGLES SLOPE GREATER THAN 4:12: UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO & STARTING FROM THE EAVE & LAPPED 2 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE W/ THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES & SHALL BE OFFSET BY 6 FEET [CRC R905.2.4, CRC TABLES R905.1.1(1), R905.1.1(2)] [ATTACHMENTS PER CRC R905.1.1(3)].
5. ROOF SHEATHING SHALL BE STRUCTURAL "REFLECTIVE SHEATHING"
6. PROVIDE FLASHING (8" MIN LAP) AT ROOF JOINTS. COORDINATE FLASHING MATERIAL SELECTION W/ ARCHITECT, TYP.
7. COORDINATE LOCATION OF (N) VENT RISERS W/ ARCHITECT.
8. ALL VENTING EQUIPMENT ON ROOF TO BE PRIMED & PAINTED TO MATCH ROOF COLOR, ARCHITECT TO APPROVE COLOR IN WRITING.
9. ROOF DRAINS & OVERFLOW DRAINS, WHETHER OR NOT CONCEALED W/IN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED PER CRC R903.4 & THE CPC.
10. ENCLOSED ATTICS & ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEP SPACE BY VENTING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN & SNOW. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300TH OF THE SPACE VENTILATED PROVIDED A VAPOR BARRIER NOT EXCEEDING (1) PERM IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION [CRC R806.2] (THIS NOTE N/A FOR CONDITIONS COMPLYING W/ CRC R806.5 FOR UNVENTED ATTIC & UNVENTED ENCLOSED RAFTER ASSEMBLIES) PER CPC CH. 11.
11. A CHIMNEY FOR A RESIDENTIAL-TYPE OR LOW-HEAT APPLIANCE SHALL EXTEND NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE IT PASSES THROUGH A ROOF OF A BUILDING & NOT LESS THAN 2'-0" HIGHER THAN A PORTION OF A BUILDING W/IN A HORIZONTAL DISTANCE OF 10'-0". [CMC 802.5.4, NFPA 54:12.6.2.1].

ROOF TRUSS NOTES

1. TRUSS MFR TO PROVIDE BLOCKING & OUTRIGGERS, AS NEEDED.
2. TRUSS MFR TO PROVIDE FOR LET-IN RAFTER TAILS, AS NEEDED.
3. TRUSS PROFILES FOR REFERENCE ONLY. REFER TO TRUSS COMPANY FOR FINAL DESIGN.



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BEACH CITY EXTERIOR

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(E)/(N) ROOF PLANS - 807

Revision Schedule

PC#1 08.17.20

Project Manager

Designer

Scale

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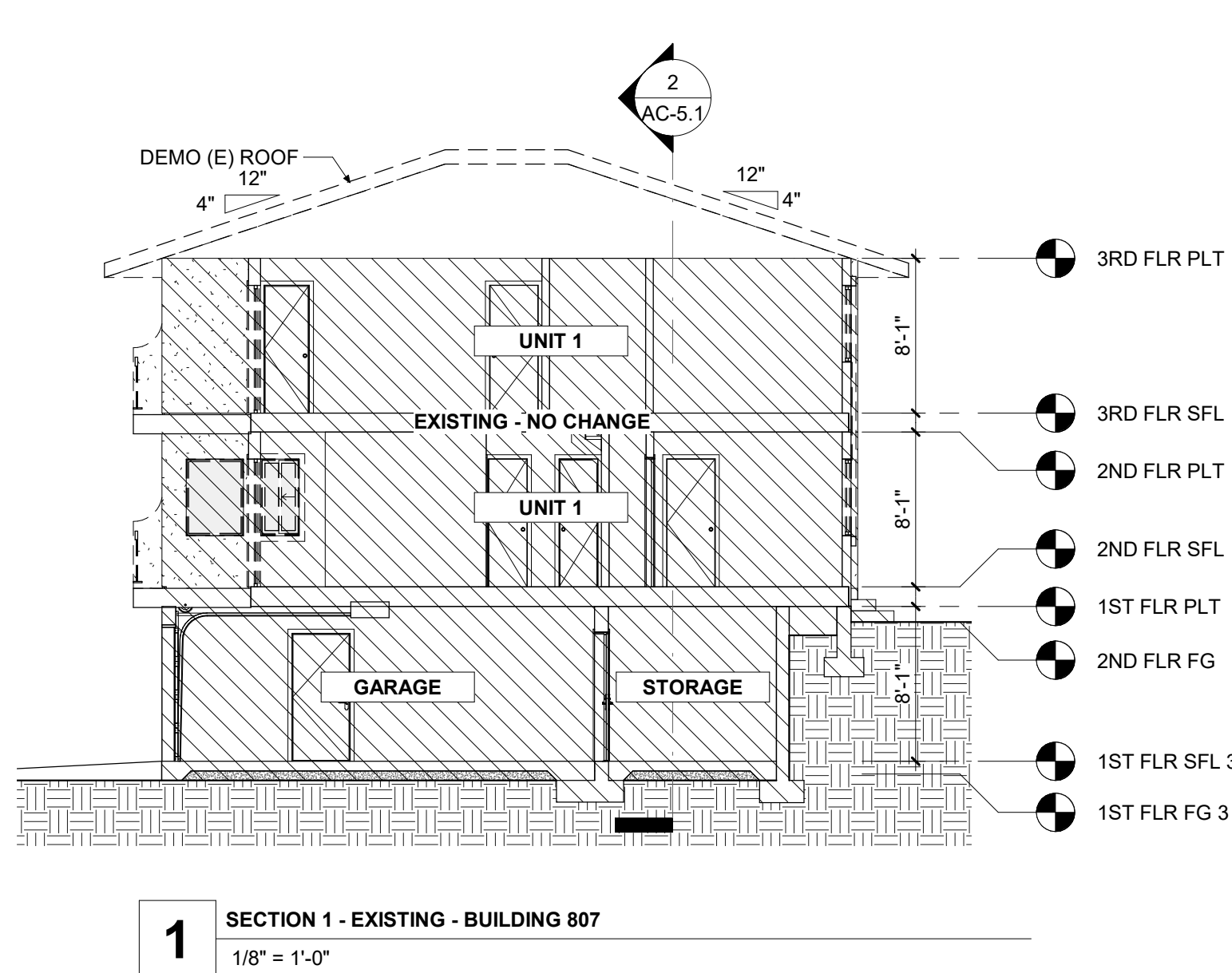
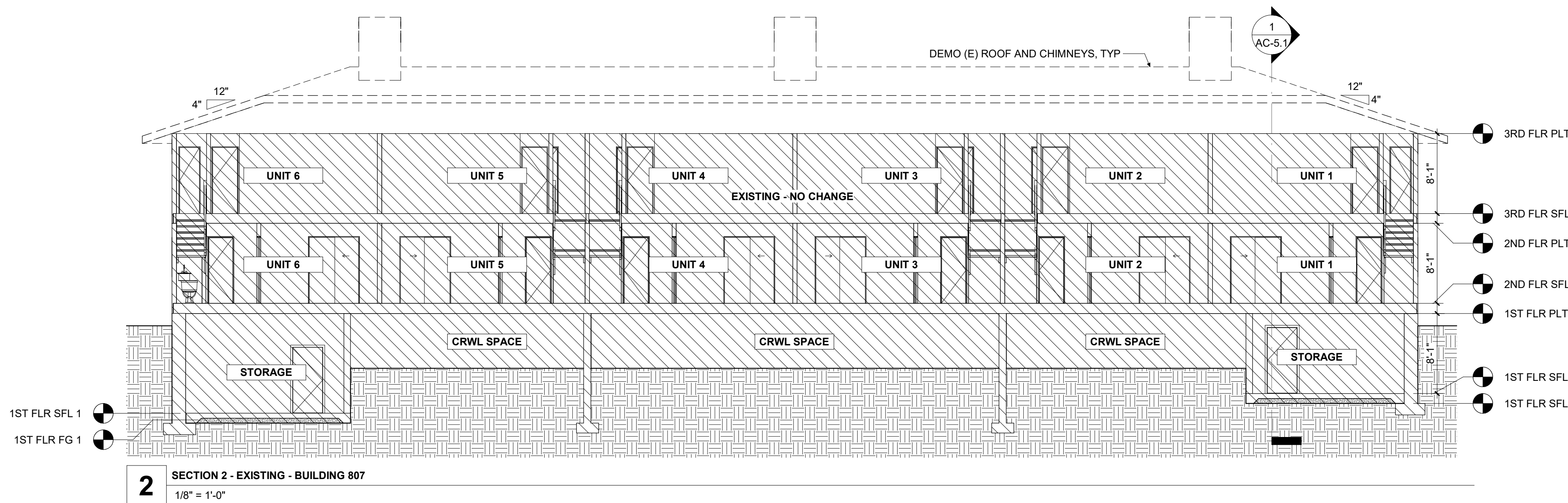
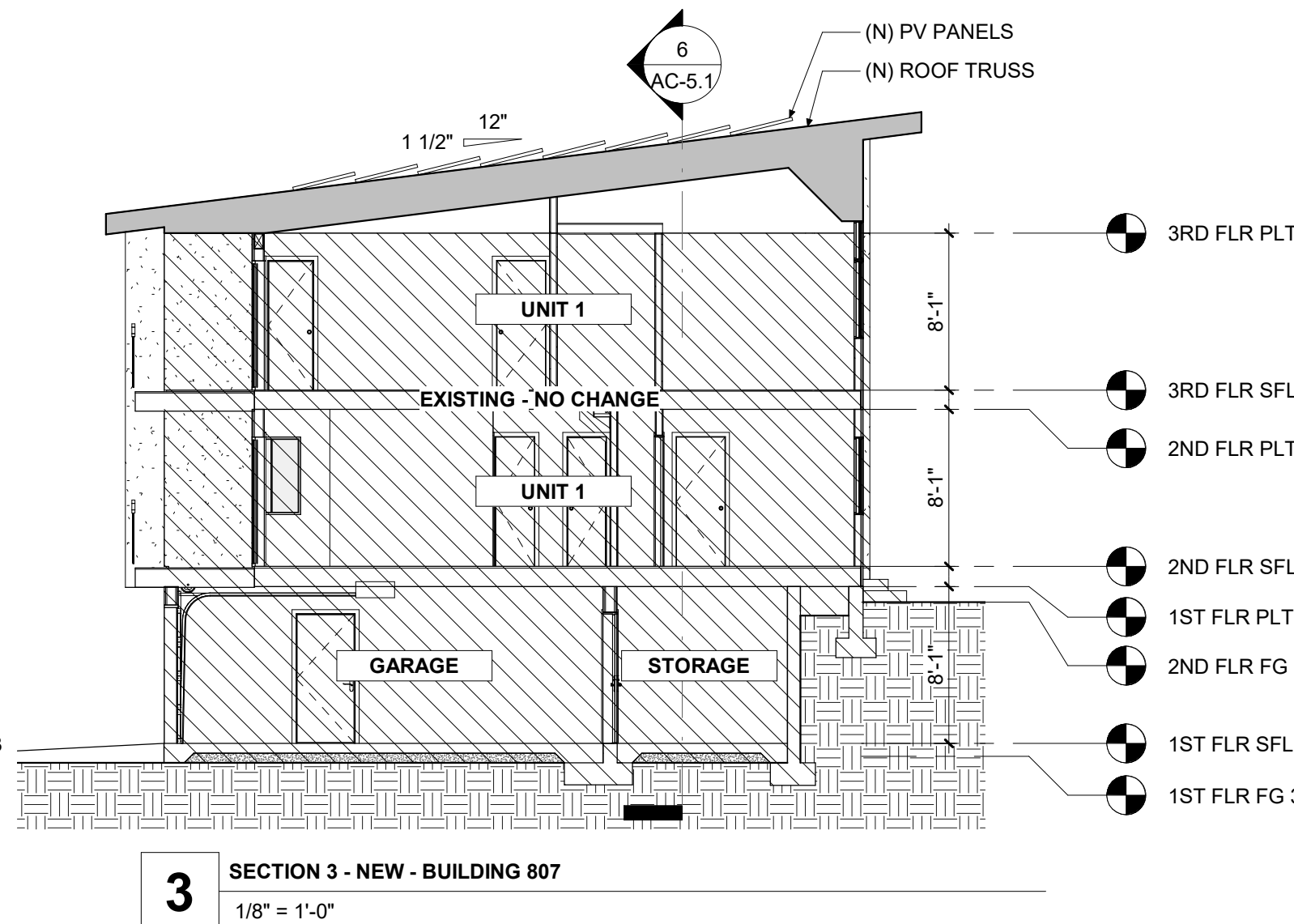
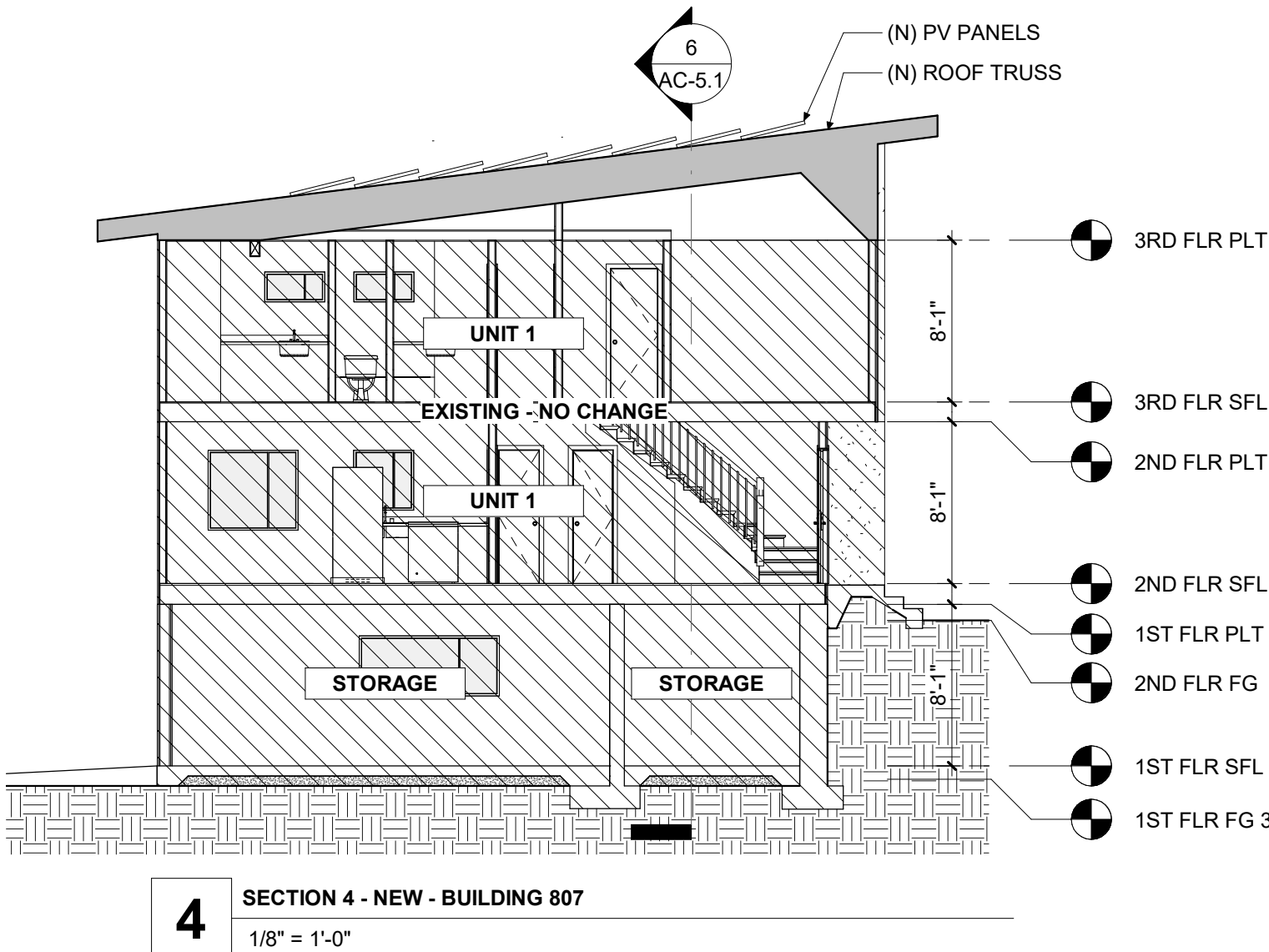
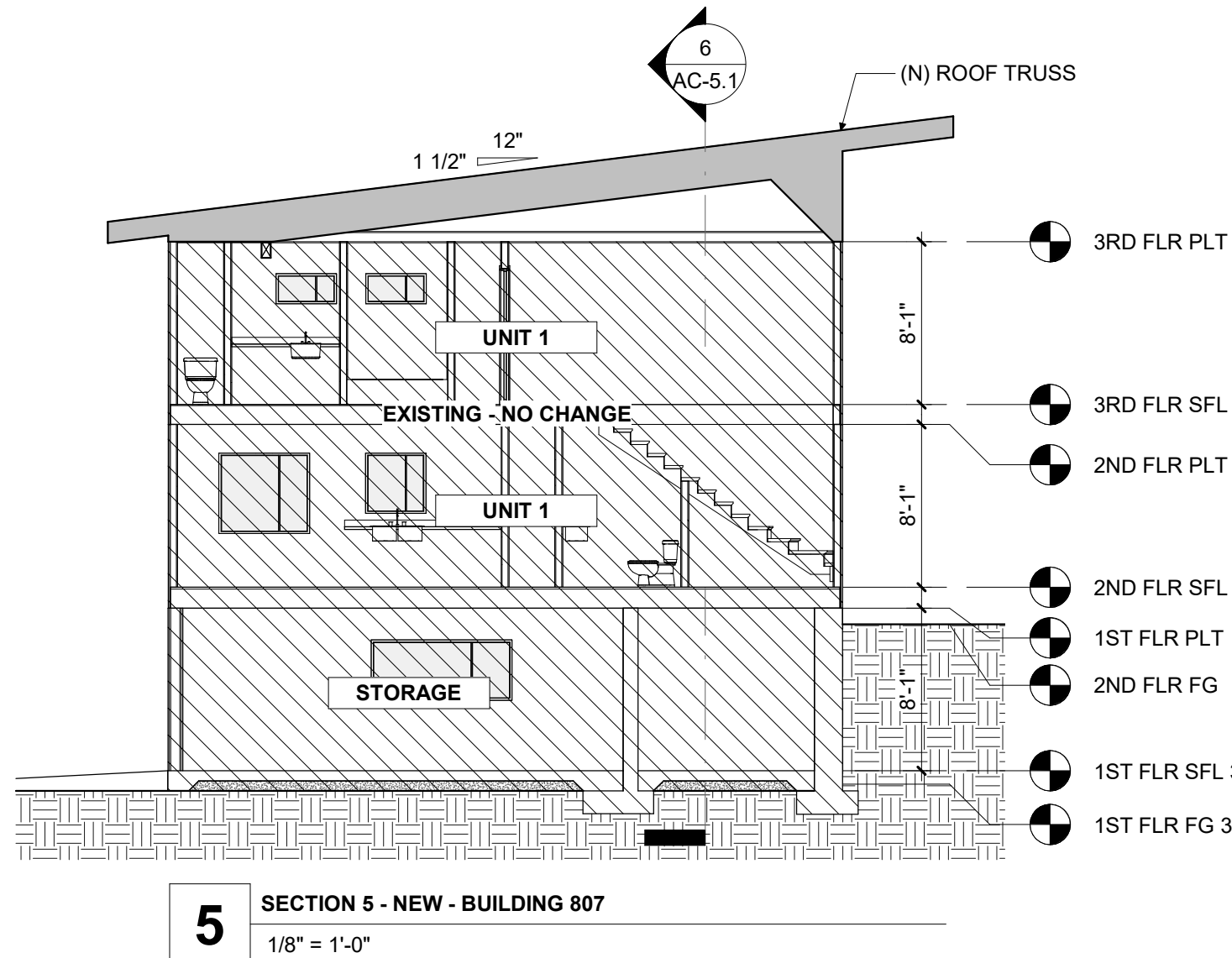
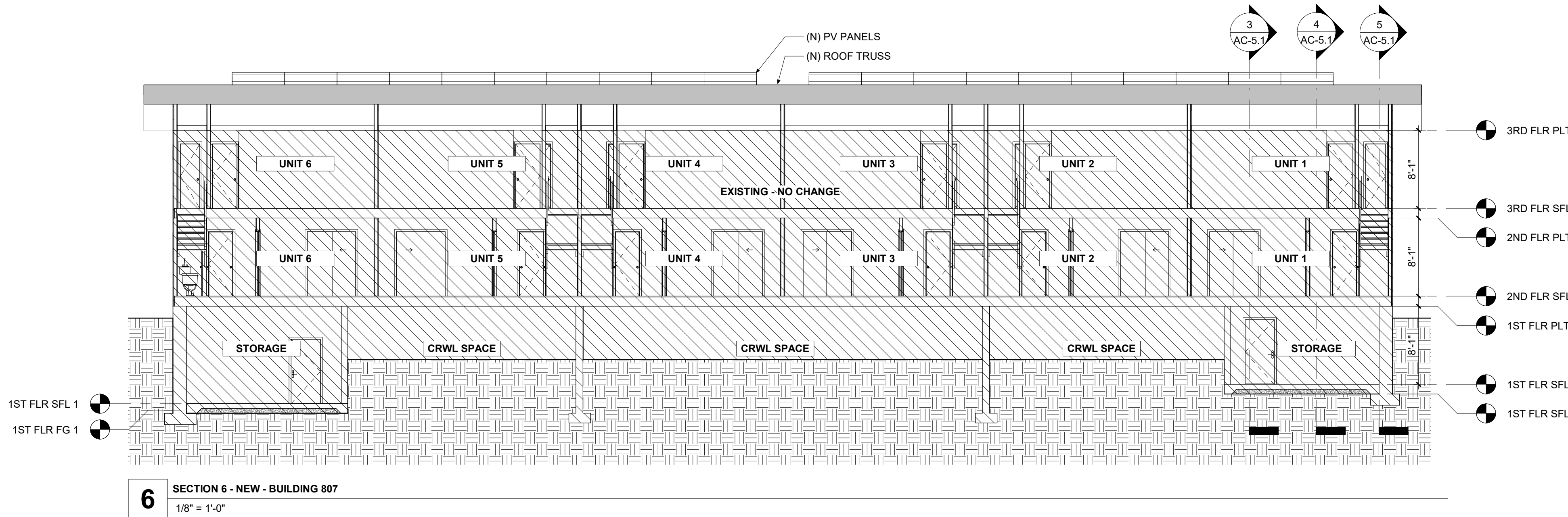
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SECTIONS NOTES

1. MIN 5/8" TYPE "X" GYP AT WALLS & CEILINGS UON.
2. MIN 2 LAYERS 5/8" TYPE "X" GYP AT GARAGE CEILINGS & USABLE SPACE BELOW STAIRS.
3. WALL CONSTRUCTION PER WALL LEGEND, DETAILS & FRAMING NOTES.
4. FLOOR SLAB PER STRUCTURAL PLANS.
5. MIN 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER W/ JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONC FLOOR SLAB & THE BASE COURSE OR THE PREPARED SUBGRADE WHERE NO BASE COURSE EXISTS [CRC R506.2.3].
6. CAPILLARY BREAK: A CAPILLARY BREAK SHALL BE INSTALLED TO COMPLY W/ CALGREEN 4.505.2.1.
7. PROTECTION OF WOOD & WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED W/ THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE W/ AWPA UI FOR THE SPECIES, PRODUCT, PRESERVATIVE & END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA UI. THIS REQ APPLIES IN THE FOLLOWING LOCATIONS:
 - A. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18" INCHES TO THE EXPOSED GROUND
 - B. WOOD GIRDERS WHEN CLOSER THAN 12" INCHES TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED W/IN THE PERIPHERY OF THE BUILDING FOUNDATION
 - C. ALL FOUNDATION SILLS, PLATES, SLEEPERS, POSTS, & COLUMNS THAT REST ON CONC OR MASONRY MUST BE NATURALLY DURABLE OR PRESERVATIVE TREATED [CRC R317.1]



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(E)/(N) SECTIONS - 807

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(E) EXTERIOR ELEVATIONS - 807

Revision Schedule

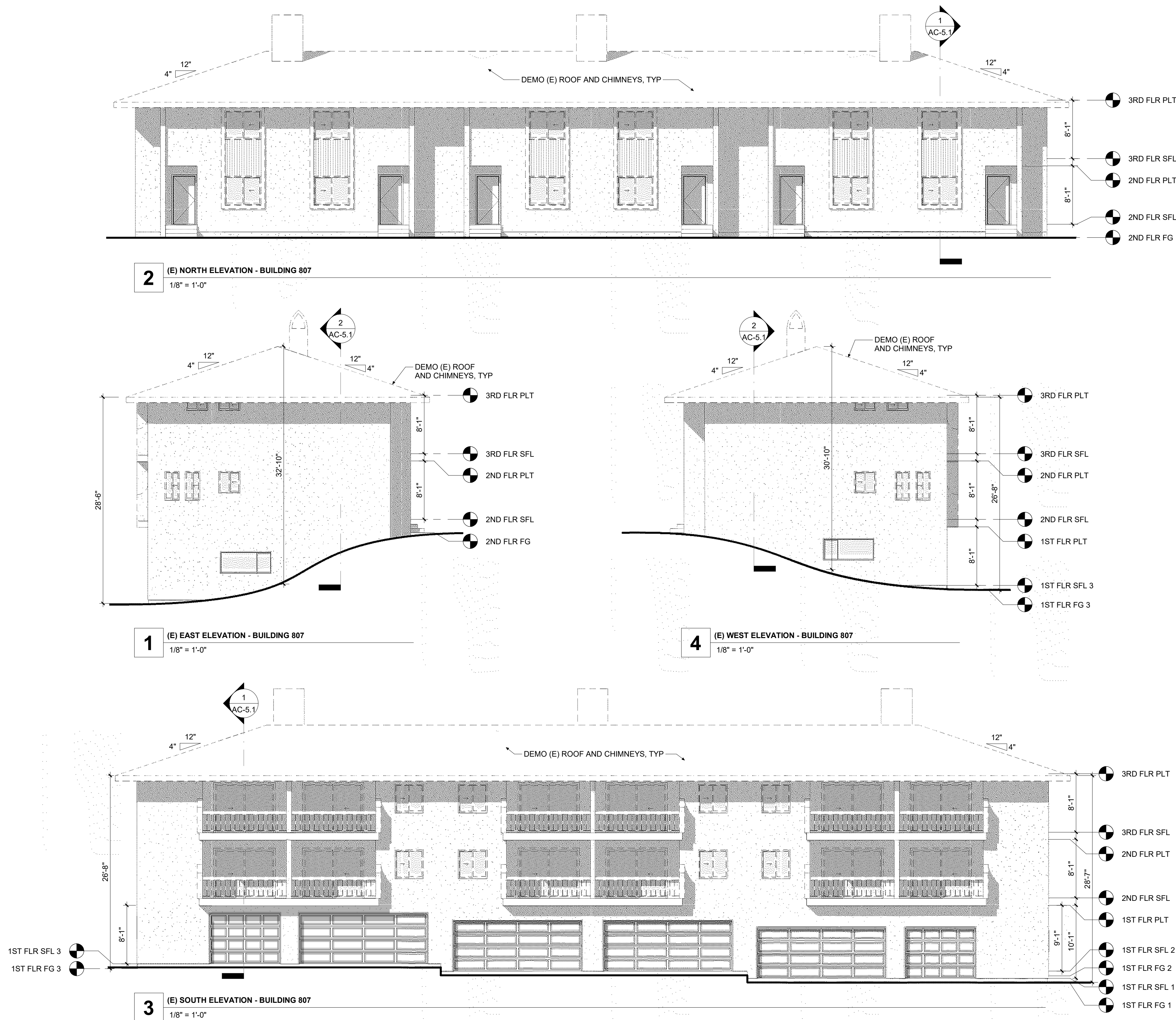
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Designer

Scale 1/8" = 1'-0"

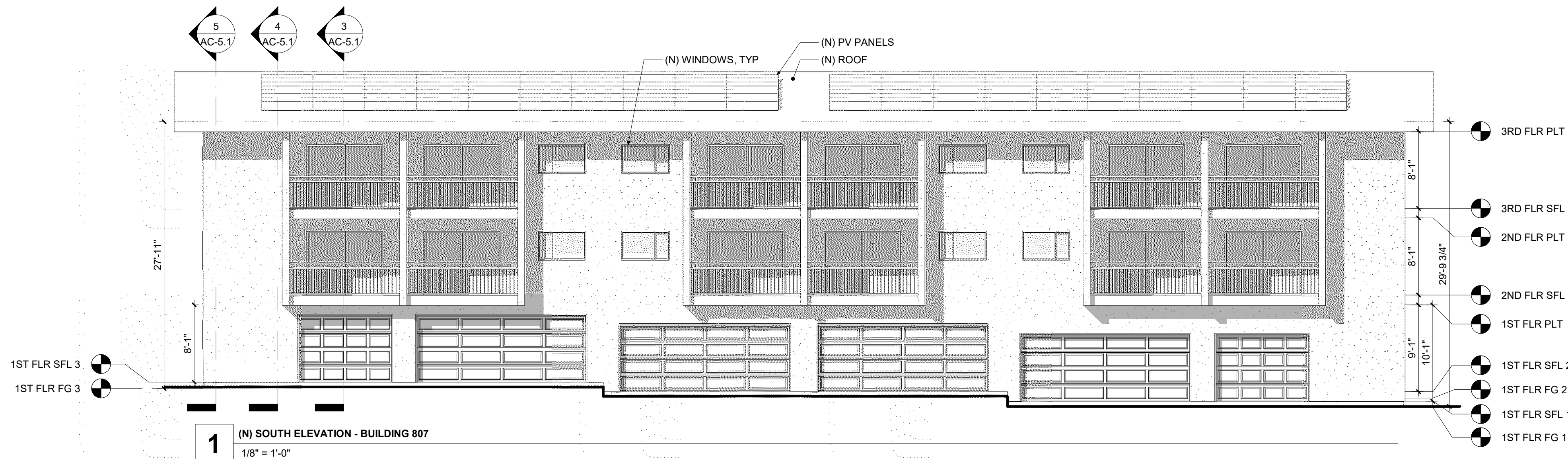
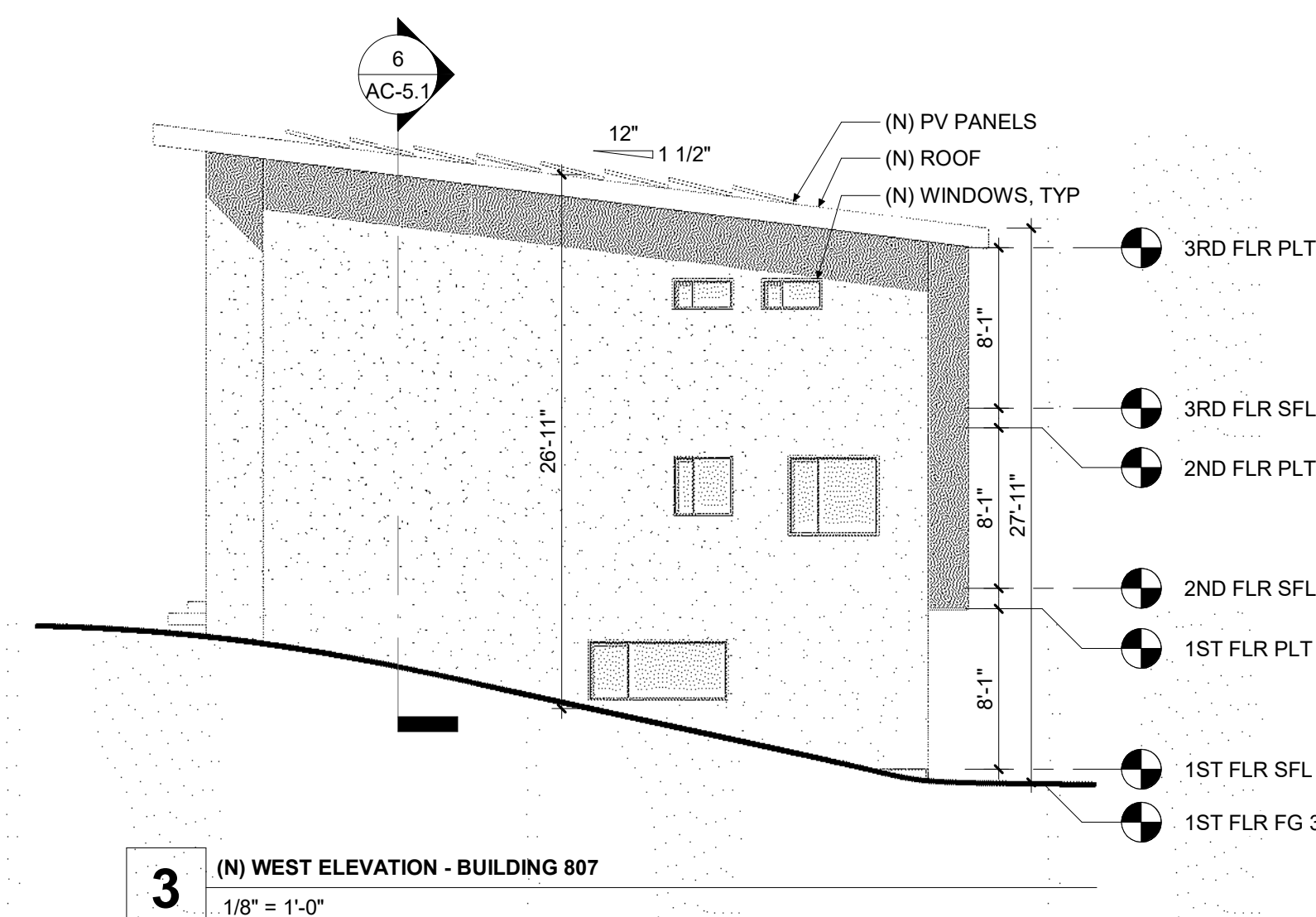
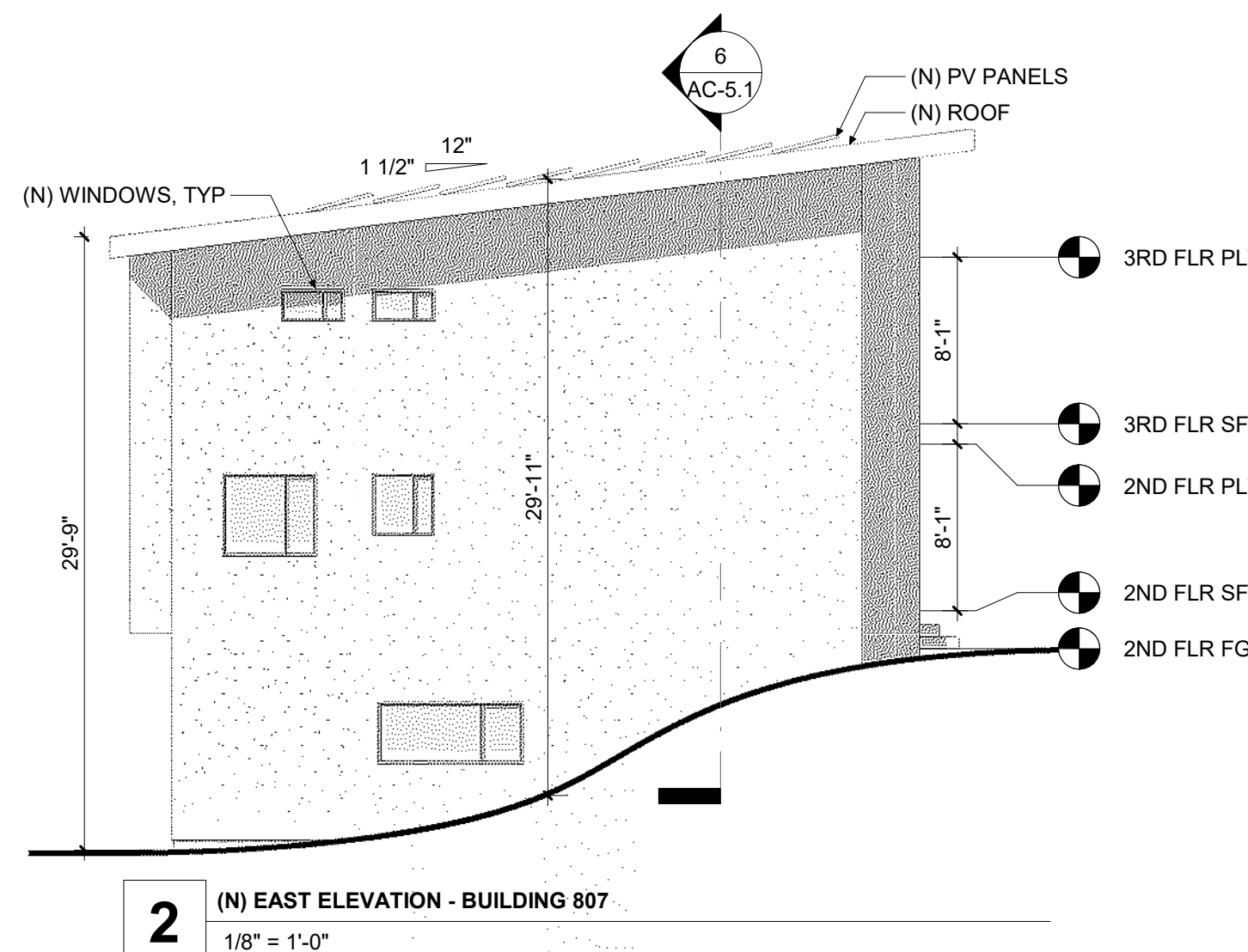
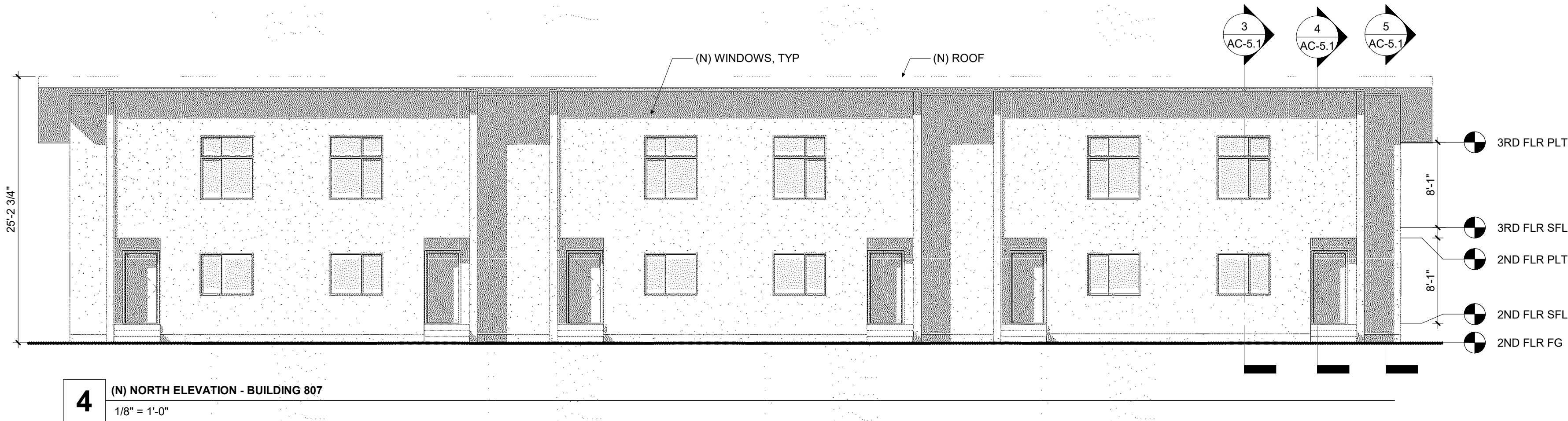
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ELEVATION NOTES

1. ETCH/PREP, PRIME & PAINT ROOF PROTRUSIONS TO MATCH ROOF, TYP.
2. ROOF VENTS TO BE GROUPED TO THE EXTENT FEASIBLE.
3. FOR PENETRATIONS IN RATED WALL ASSEMBLIES, REFER TO CBC.
4. SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL TRADE-RELATED ITEMS AS CONTAINED W/IN FULL CONSTRUCTION DOCUMENTS.
5. ALL ELECTRICAL, GAS, PLUMBING & MECHANICAL PENETRATIONS IN EXTERIOR WALLS SHALL BE FLASHED W/ "QUICKFLASH" WATERPROOFING PRODUCTS (WWW.QUICKFLASHPRODUCTS.COM) OR EQUAL.
6. EXTERIOR OF BUILDING SHALL BE WRAPPED W/ MIN GRADE "D" PRIOR TO INSTALLING FINISH MATERIAL. INSTALL PER MFR INSTRUCTIONS.
7. FLASH/COUNTER FLASH AT ALL ROOF-TO-WALL CONDITIONS.
8. ALL FLASHING SHALL BE CONSISTENT W/ ROOF & WALL FINISH. DISSIMILAR METALS SHALL NOT BE IN CONTACT W/ EACH OTHER.
9. BACKPRIME ALL UNFINISHED TRIM EDGES PRIOR TO INSTALLATION, TYP.
10. WOOD FRAMING MEMBERS (INCLUDING WOOD SHEATHING) THAT REST ON FOUNDATION WALLS & ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD [CBC § 2304.11.2.2].
11. RAKED BOARDS & TRIM BEYOND THE RAKE SHALL BE CONTINUOUS.
12. ELEVATION VALUES REFER TO STRUCTURAL LEVELS. REFER TO INTERIOR ELEVATIONS FOR CRITICAL DIMS FROM FINISHED SURFACES.
13. ALL EXTERIOR WALL COVERINGS SHALL BE APPLIED PER CRC R703.
14. APPROVED NUMBERS OR ADDRESSES SHALL BE POSTED, PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY [CFC 505.1].
15. ALL GUTTERS SHALL BE SIZED PER CPC CH. 11. ALL DRAINS & GUTTERS SHALL COMPLY W/ CPC CH. 11 REQ.
16. SEE MECHANICAL / ELECTRICAL / PLUMBING PLANS FOR ITEMS NOT SHOWN OR SPECIFIED ON ELEVATIONS.



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